

Salt Surf Life Saving Club

Parking Assessment

Salt Surf Life Saving Club

7 June 2021



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Document Issue History

Report File Name	Prepared	Reviewed	Issued	Date	Issued to
P4490.001R Salt SLSC Parking Assessment Report	N. Azizi	L. Johnston	L. Johnston	07/06/2021	Damian Chapelle Newton Denny Chapelle dchapelle@ndc.com.au

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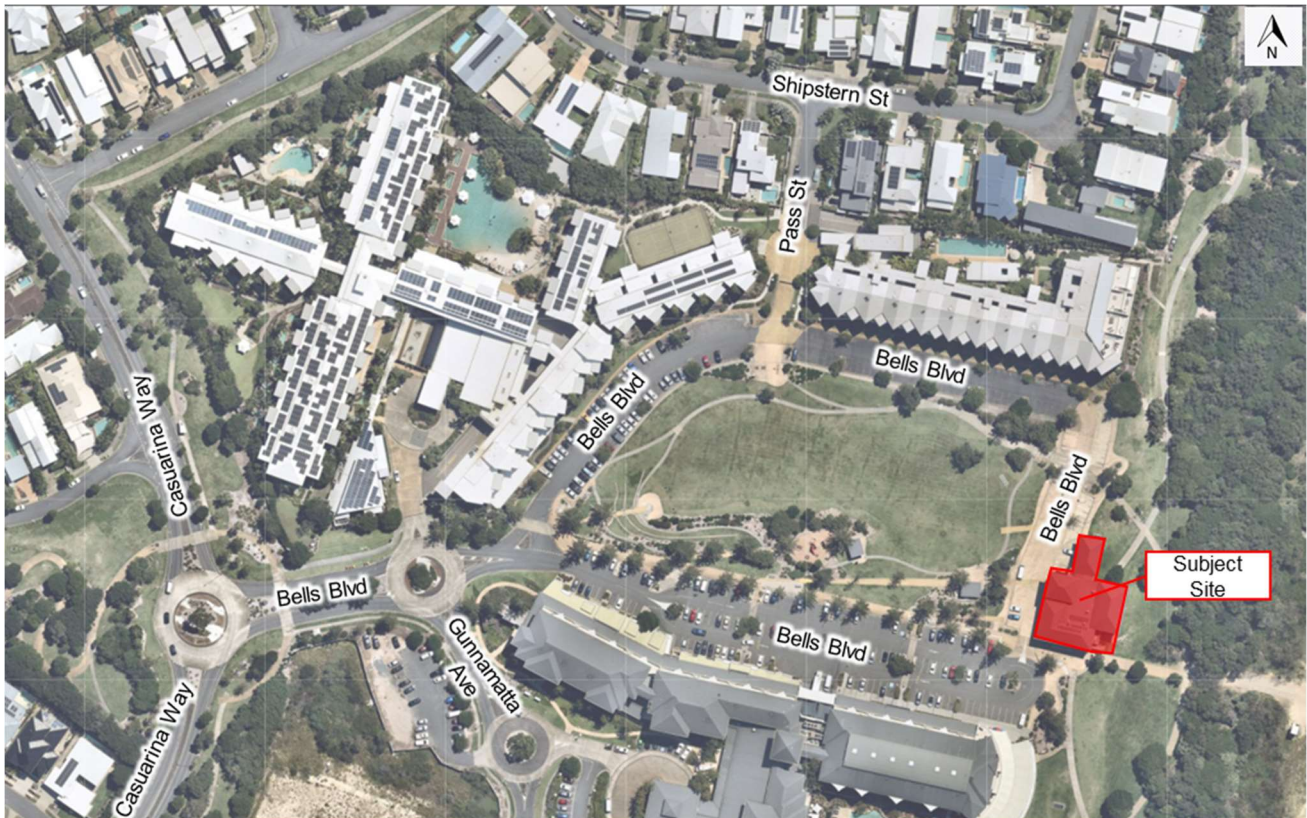
Appendix C: Parking Occupancy Profiles

1. INTRODUCTION

1.1 Background

Bitzios Consulting (Bitzios) has been engaged by Salt Surf Life Saving Club (SLSC) to prepare a parking assessment for expanded operations of the club located at Bells Boulevard, Kingscliff (subject site), formally described as Lot 4 on LP1234959. Specifically, the club is seeking to operate venue hire within its first-floor space for the purposes of non-club events.

The location of subject site is shown in Figure 1.1.



Source: Nearmap

Figure 1.1: Subject Site Location

1.2 Approval History

A development application (DA13/0119) was lodged with Tweed Shire Council (Council) and subsequently approved in 2013. The proposal was for partial demolition, alterations and additions of the existing club building.

Four (4) Section 4.55 (1A) Modification Applications have been lodged and approved in the time since, most recently DA13/0119.4. The development consent was amended as part of DA13/0119.4 to replace Condition 5A with Condition 5B as follows:

Condition 5B - Public access to the development (except the ground floor kiosk and public amenities) is not permitted. The use of the first floor of the club is approved by Council for members and club activity use, such as:

- Entry and access to the club is permitted for members of the community engaging in activities associated with Surf Life Savings Activities. These activities include, but not limited to:
 - a) Emergency Services Officers performing required duties

- b) Members of the Public seeking medical treatment and assistance
 - c) Dignitaries performing ceremonial duties
 - d) Members of other Surf Lifesaving faculties attending,
 - e) Education and Training
 - f) Planning and Briefing Meetings
 - g) SLS Events, such as Carnival, Award, Presentation, Sponsorship and Fund-Raising Events
 - h) Junior Nippers Programs
- Entry and access to the club is permitted for non - members for authorised activities when alcohol sales are not available.
 - Entry and access to the club for non SLS members of the community for both recruitment activities and water safety awareness advice.
- Condition 68** - All activities associated with the use of the facilities, internal to the clubhouse, shall not be conducted prior to 6am nor after 10pm on any day. Variation after 10pm until 12pm is permissible on Friday and Saturday evenings for up to 6 occasions in any 12 month period.

1.3 Scope

The scope of this assessment included:

- Undertake an occupancy survey of each car parking space within the study area
- Analyse parking survey data to establish a demand profile for the public on-street car parking
- Source details (e.g. day/duration, number of patrons, etc.) from project team / client for proposed events
- Derive the expected parking demand for a range of event scenarios (allowance for five (5) scenarios only)
- Overlay expected parking demands on existing parking demand profile and identify any times/days with potential conflicts
- Advise on high-level mitigation measures (e.g. alternate transport arrangements, scheduling strategy) to be implemented (if required) to reduce parking demands resulting from the proposed events/activities

2. EXISTING CONDITIONS

2.1 Club Operations

The club has provided the details for the current events and operations which are held and operated by the club. The infrequent and frequent event and operational details are summarised in Table 2.1 and Table 2.2 respectively.

Table 2.1: Infrequent Events / Operations

Event	Month	Day	Start Time	Finish Time	Patrons
Senior Awards / Presentation Night	May	Saturday	6:00PM	12:00AM	100
Junior Awards / Presentation Night	March	Saturday	Afternoon		150
Nipper Induction / Parent Briefing	October	Saturday	Afternoon		80
Branch Carnival Administration	November	Sunday	9:00AM	4:00PM	50
Branch Awards Night	May	Saturday	6:00PM	10:00PM	100

Table 2.2: Frequent Events / Operations

Event	Month	Day	Start Time	Finish Time	Patrons
Nippers	October to mid-December Mid-January to late March	Saturday	2:30PM	4:30PM	N/A
Surf Patrol	Mid-September to late April	7-days	9:00AM	3:00PM	N/A
Surf Patrol	Main School Holidays and Major Public Holidays (e.g. Christmas)	7-days	9:00AM	5:00PM	N/A
Kiosk Operations	All	All	6:00AM	2:00PM	N/A

2.2 Land Uses

The subject site and surrounding land parcels are all zoned as SP3 Tourist under Council's Local Environment Plan (LEP) Mapping. Majority of the surrounding land parcels support short-term accommodation, specifically Peppers Salt Resort and Mantra on Salt.

2.3 Car Parking Provisions

Figure 2.1 shows the formal and informal car parking provisions surrounding the subject site which are publicly accessible.



Source: Nearmap

Figure 2.1: Surrounding Car Parking Provisions

Table 2.3 summarises the existing car parking provisions surrounding the subject site.

Table 2.3: Existing Car Parking Provision

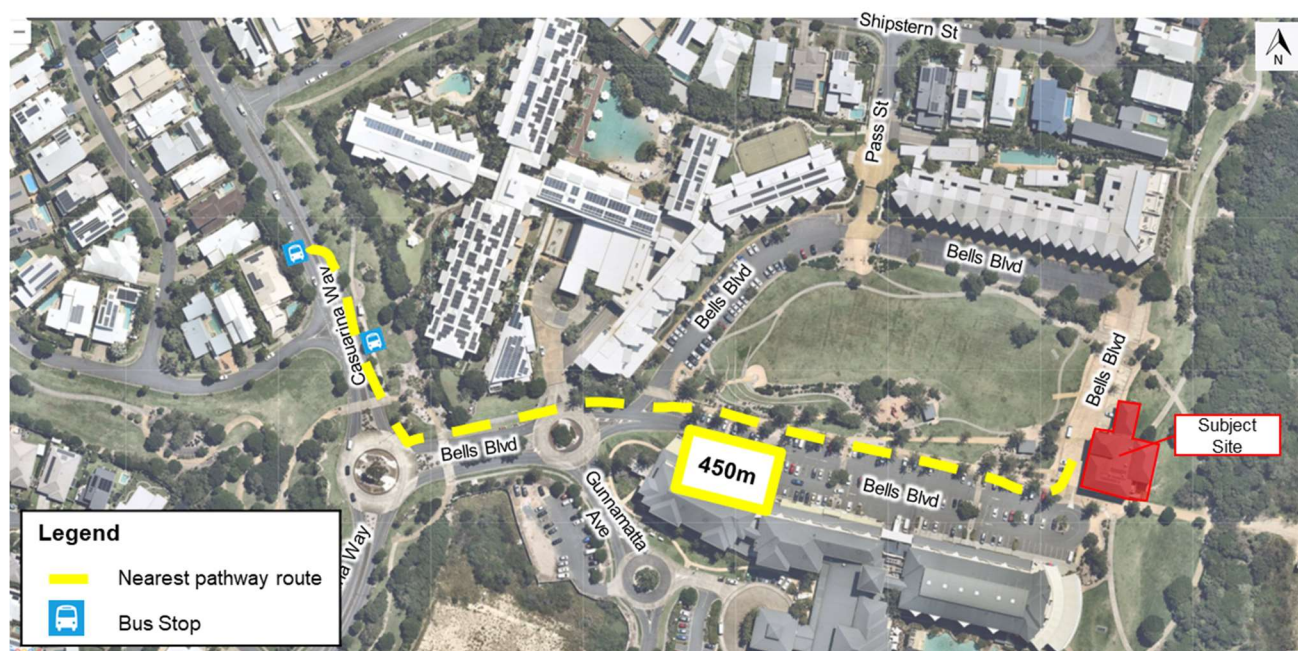
Area	Total Spaces Provided	Disabled Spaces Provided	Restrictions
A	198	3	Unrestricted
B	96	2	
C	48	0	

2.4 Public Transport

The subject site is located within 450m of the nearest bus stops on Casuarina Street to the north which services the bus route 603. This is shown in Figure 2.2 below including the likely pedestrian route using the existing footpath network. Table 2.4 summarises the relevant bus services and their frequencies during peak periods.

Table 2.4: Relevant Bus Services

Bus Service	Bus Route	Peak Frequency
603	Pottsville to Tweed City	1 hour



Source: Nearmap

Figure 2.2: Public Transport Connections

2.5 Taxis and Ride Share

Kingscliff Tweed Coast Taxi operate services within the Kingscliff and Tweed Coast areas including Salt Village.

A number of private companies operate services which provide connections to/from Salt Village and surrounding locations (e.g. Gold Coast Airport, Tweed/Gold Coast accommodation, etc.).

Uber indicates Kingscliff is within its Gold Coast service area. Given the site's location at the southern extend of the Gold Coast service area, the availability of services is understood to be minimal.

2.6 Frequent Events

2.6.1 Salt Village Markets

Salt Village Markets occurs every third Saturday each month from 8:00AM to 2:00PM in Salt Central Park as shown in Figure 2.3.



Source: Nearmap

Figure 2.3: Salt Village Markets Area Location

2.6.2 Casual Park Hire

Tweed Shire Council (Council) permits casual park hire for low-level, structured activities such as wedding ceremonies, baby naming ceremonies and memorial ceremonies. Council's *Wedding Ceremonies Popular Locations* identifies 'SALT' at Kingscliff as a popular location for wedding ceremonies.

Figure 2.4 shows the areas where wedding ceremonies can be held including Salt Coastal Cycleway, Salt Central Park and Salt Beachside Park. The restricted area shown is a designated emergency services area and must be kept clear at all times.

The document notes that guests can seek on-street parking provisions along Bells Boulevard, Shipstern Street, Malibu Streets, North Point Avenue, Barrel Street, Fairy Bower Street, or Cylinders Drive while attending the ceremonies.



Source: Nearmap

Figure 2.4: Casual Park Hire Spaces

3. PROPOSED OPERATIONS

The club has provided the details for the proposed non-club events and operations which are expected to be held within the first-floor spaces. The event and operational details are summarised in Table 3.1.

Table 3.1: First Floor – Proposed Non-club Events and Operations

Event	Month	Day	Start Time	Finish Time	Patrons
Sportsman's Lunch	February October	Friday	10:00AM	3:00PM	150
General Fundraising	December July	Saturday	6:00PM	10:00PM	100
Wedding Reception	October to March	Sunday to Friday	5:00PM	10:00PM	150 (Large) 100 (Medium) 50 (Small)
Wedding Reception	April to September	Sunday to Saturday	5:00PM	10:00PM	150 (Large) 100 (Medium) 50 (Small)
Corporate Conference	All	Weekday	10:00AM	5:00PM	250
Corporate Product Expo	All	Weekday	10:00AM	5:00PM	100
Corporate Meetings	All	Weekday	10:00AM	5:00PM	10-50
Lions Club Meetings	Monthly	-	-	-	10-30
Board Riders Club Meetings	Monthly	-	-	-	10-30

As shown in Table 3.1, the first-floor space will not be available for non-club events while core club events / operations are being held (e.g. wedding receptions not permitted on Nippers days).

4. PARKING ASSESSMENT

4.1 Parking Surveys

4.1.1 Parking Survey Details

Car parking occupancy surveys were undertaken by Traffic Data and Control (TDC) for several days with varying conditions and subsequent parking demands. The occupancy of each parking space within the survey area was recorded every 30 minutes during the survey periods. The parking occupancy survey data is provided in **Appendix B**.

Table 4.1 summarises the duration and details for each of the parking survey days.

Table 4.1: Parking Survey Details

Date	Day	Start Time	End Time	Type of Day	Weather ¹	Comments
27th March 2021	Saturday	7:00AM	10:00PM	Typical	Fine	Nil
28th March 2021	Sunday	7:00AM	7:00PM	Typical	Fine	Nil
3rd April 2021	Saturday	7:00AM	10:00PM	Long Weekend	Fine	Easter Long Weekend
14th April 2021	Wednesday	7:00AM	7:00PM	School Holidays	Fine	Nil
17th April 2021	Saturday	7:00AM	10:00PM	School Holidays	Fine	Salt Village Markets (8:00AM to 2:00PM)
18th April 2021	Sunday	7:00AM	7:00PM	School Holidays	Slightly Rainy	Nil
21st April 2021	Wednesday	7:00AM	7:00PM	Typical	Fine	Nil

Note (1) – Weather conditions sourced from bom.gov.au



Figure 4.1: Parking Occupancy Survey Areas

4.2 Parking Capacity

Table 4.2 shows the summary of results for the parking occupancy survey for all areas.

Table 4.2: Parking Occupancy Survey Results Summary – All Areas

Date	Day	Capacity		Minimum Capacity Period		
		9:00AM – 9:30AM	6:00PM – 6:30PM	Start Time	Finish Time	Capacity
27th March 2021	Saturday	172	125	7:00PM	7:30PM	110
28th March 2021	Sunday	198	219	1:30PM	2:00PM	97
3rd April 2021	Saturday	230	190	1:00PM	1:30PM	164
14th April 2021	Wednesday	224	199	1:00PM	1:30PM	170
17th April 2021	Saturday	119	144	11:00AM	11:30AM	99
18th April 2021	Sunday	225	219	1:00PM	1:30PM	113
21st April 2021	Wednesday	217	222	11:30AM	12:00PM	109

Table 4.3 shows the summary of results for the parking occupancy survey for areas 1, 2 & 3, noting the car parking demand for those areas is typically low.

Table 4.3: Parking Occupancy Survey Results Summary – Areas 1,2 & 3

Date	Day	Capacity		Minimum Capacity Period		
		9:00AM – 9:30AM	6:00PM – 6:30PM	Start Time	Finish Time	Capacity
27th March 2021	Saturday	87	96	3:00PM	3:30PM	75
28th March 2021	Sunday	86	139	1:30PM	2:00PM	67
3rd April 2021	Saturday	107	130	9:30AM	10:00AM	104
14th April 2021	Wednesday	122	140	1:00PM	1:30PM	111
17th April 2021	Saturday	73	123	11:00AM	11:30AM	59
18th April 2021	Sunday	116	138	1:00PM	1:30PM	89
21st April 2021	Wednesday	119	138	10:30AM	11:00AM	109

Table 4.4 summarises the available capacity and time periods ‘with’ and ‘without’ Area 8 car parking supply in the event it is removed as part of future development over that site.

Table 4.4: Reduced Parking Supply Scenario

Date	Day	Scenario					
		Total Supply Including Area 8			Total Supply Excluding Area 8		
		Supply	Maximum Demand	Capacity	Supply	Maximum Demand	Capacity
27th March 2021	Saturday	331	221	110	294	221	73
28th March 2021	Sunday	331	234	97	294	234	60
3rd April 2021	Saturday	331	167	164	294	167	127
14th April 2021	Wednesday	331	161	170	294	161	133
17th April 2021	Saturday	331	232	99	294	232	62
18th April 2021	Sunday	331	218	113	294	218	76
21st April 2021	Wednesday	331	131	200	294	131	163

A ‘worst-case’ scenario was derived to consider the following occurrences:

- The future loss of Area 8 car parking supply
- The Area 8 car parking demand being shifted to Areas 1-4 car parking supply
- Exclusion of Areas 5-7 car parking supply and capacity.

Table 4.5 summarises the available capacity and time periods for the ‘worst-case’ scenario.

Table 4.5: Parking Occupancy Survey Results Summary – Worst Case Scenario

Date	Day	Capacity		Minimum Capacity Period		
		9:00AM – 9:30AM	6:00PM – 6:30PM	Start Time	Finish Time	Capacity
27th March 2021	Saturday	88	88	12:00	12:30	62
28th March 2021	Sunday	102	144	1:30	2:00	51
3rd April 2021	Saturday	130	135	1:00	1:30	105
14th April 2021	Wednesday	134	140	1:00	1:30	104
17th April 2021	Saturday	63	107	11:00	11:30	42
18th April 2021	Sunday	127	150	1:00	1:30	71
21st April 2021	Wednesday	128	146	10:00	10:30	114

Parking occupancy survey profiles for all scenarios above are provided in **Appendix C**.

4.3 Proposed Operations Parking Demand

Required car parking rates for the first-floor operations were sourced from Council's Development Control Plan (DCP) *Section A2 – Site Access and Parking Code*. The Function Centre (C10) land use and car parking rates were determined to be reflective of the proposed operations, particularly given the subject site is surrounded by short-term accommodation, public transport connectivity and taxi/ride share services. Table 4.6 summarises the car parking requirements for first-floor operations.

Table 4.6: Proposed First-Floor Operations Car Parking Demand

Land Use	Event	Yield	Car Parking Rate	Car Parking Requirement
C10 – Function Centres	Wedding Reception (small)	4 staff 50 patrons	1 space per 2 staff 0.3 spaces per seat	2 staff spaces 15 patron spaces
C10 – Function Centres	Wedding Reception (medium)	7 staff 100 patrons	1 space per 2 staff 0.3 spaces per seat	4 staff spaces 30 patron spaces
C10 – Function Centres	Wedding Reception (large)	10 staff 150 patrons	1 space per 2 staff 0.3 spaces per seat	5 staff spaces 45 patron spaces
C10 – Function Centres	Corporate Conference Catered	9 staff 250 patrons	1 space per 2 staff 0.3 spaces per seat	5 staff spaces 75 patron spaces
C10 – Function Centres	Corporate Conference Non-catered	5 staff 250 patrons	1 space per 2 staff 0.3 spaces per seat	3 staff spaces 75 patron spaces
C10 – Function Centres	Meeting	1 staff 50 patrons	1 space per 2 staff 0.3 spaces per seat	1 staff space 15 patron spaces
C10 – Function Centres	Sportsman's Lunch	5 staff 150 patrons	1 space per 2 staff 0.3 spaces per seat	3 staff spaces 45 patron spaces
C10 – Function Centres	General Fundraising	4 staff 100 patrons	1 space per 2 staff 0.3 spaces per seat	2 staff spaces 30 patron spaces

4.4 First-Floor Operations Car Parking Demand Performance

The car parking demand for each of the first-floor events has been applied to the car parking capacity during the worst-case scenario to measure performance. Table 4.7 summarises the performance of the car parking provision.

Table 4.7: Proposed First-Floor Operations Car Parking Demand Performance

Event	Month	Day	Start Time	Finish Time	Patrons	Sufficient Car Parking Capacity ¹
Sportsman's Lunch	February October	Friday	10:00AM	3:00PM	150	Yes ²
General Fundraising	December July	Saturday	6:00PM	10:00PM	100	Yes
Wedding Reception	October to March	Sunday to Friday	5:00PM	10:00PM	150 (Large) 100 (Medium) 50 (Small)	Yes
Wedding Reception	April to September	Sunday to Saturday	5:00PM	10:00PM	150 (Large) 100 (Medium) 50 (Small)	Yes
Corporate Conference	All	Weekday	10:00AM	5:00PM	250	Yes
Corporate Product Expo	All	Weekday	10:00AM	5:00PM	100	Yes
Corporate Meetings	All	Weekday	10:00AM	5:00PM	10-50	Yes
Lions Club Meetings	Monthly	-	-	-	10-30	Yes
Board Riders Club Meetings	Monthly	-	-	-	10-30	Yes

Notes: ¹ Car parking capacity during worst-case scenario

² In the absence of Friday surveys, demands were assessed against Holiday Wednesday capacity

As shown in Table 4.7, sufficient car parking capacity is expected to cater for the car parking demands of each proposed first-floor event during the worst-case scenario.

5. CONCLUSION

The key findings of the parking assessment for Salt SLSC are as follows:

- The proposal seeks for use of the first-floor space of its clubhouse for non-SLSC events for up to 250 patrons at any given time
- Car parking occupancy surveys were undertaken for several days with varying conditions and parking demands
- The parking demands for various event scenarios were established based on required car parking rates specified in Council's DCP
- A worst-case scenario was established for existing car parking demand, considering future removal of informal car parking provisions as well as limiting use to on-street parking within road reserve
- The parking demands for various event scenarios were applied to the various parking occupancy profiles
- The application of the parking demands to the worst-case scenario indicated sufficient car parking surplus exists to accommodate the proposed events during their proposed time of day/week/year.

Based on the above assessment, the expanded use of the development is not expected to introduce any adverse parking issues for the area or require the provision of any additional car parking provisions.

Appendix A: Development Plans

C of C

Drawing register for Salt S.L.S.C

drawing 01 - lower floor plan @a1 1:100
drawing 01a and drawing 01b @a3 1:100

revision 0C

11-01-18
nib walls removed from northdeck area
23-01-18
change to stair 2 width to 1700mm

drawing 02 - upper floor plan @a1 1:100
drawing 02a and 02b @a3 1:100

revision 0C

12-01-18
columns added
23-01-18
change to stair 2 width to 1700mm

drawing 03 - roofplan @a1 1:100
drawing 03a and 03b @a3 1:100

revision 0A

drawing 04 - elevations @a1 1:100
drawing 04a and 04b @a3 1:125

revision 0C

12-01-18
4600 pitching point to east deck area (from 4500)
to allow for roof beams/ trusses
20-02-18
changes to elevational information for section J

drawing 05 - section aa @a1 1:100 & 1:50
drawing 05a, 05b and 05c @a3 1:50

revision 0C

20-02-18
changes to elevational information for section J

drawing 06 - section bb @a1 1:100 & 1:50
drawing 06a and 06b @a3 1:50

revision 0C

20-02-18
changes to elevational information for section J

drawing 07 - lower electrical @a1 1:100
drawing 07a and 07b @a3 1:100

revision 0C

12-01-18
4600 pitching point to east deck area (from 4500)
to allow for roof beams/ trusses
20-02-18
changes to information for section J

drawing 08 - upper electrical @a1 1:100
drawing 08a and 08b @a3 1:100

revision 0C

12-01-18
4600 pitching point to east deck area (from 4500)
to allow for roof beams/ trusses
20-02-18
changes to information for section J

drawing 09 - Bar Area @a1 1:50 & 1:10
drawing 09a and 09b @a3 1:50 & 1:10

revision 0B

24-01-18
information added at Council request

drawing 10 - Kitchen Area @a3 1:50 & 1:10
drawing 10a and 10b @a3 1:50 & 1:10

revision 0B

24-01-18
information added at Council request

drawing 11 - Bathroom Area @a3 1:50 & 1:10
drawing 11a and 11b @a3 1:50 and 1:25

revision 0A

drawing W01 to W07 inclusive
windows and shutters @a3 1:50

revision 0A



GENERAL NOTES

roof material colorbond ultra (for surf conditions)
 roof colour - colorbond windspray
 all fixings and flashings to be compatible with colorbond roof to ensure no galvanic reaction
 fixing to manufacture's specification
 roof sheet profile to be custom orb generally except roof 6, 7, 8
 roof 6, 7, 8 roof sheet profile to be hiten long span @ 2° minimum
 gutters to match Mantra profiles. 250 wide

RL of existing floors to be retained U.N.O

RL 8.0 and 7.70 as noted on plan

Upper slab level to be RL 11.0 as noted on plans, sections and elevations

Notes - Kiosk area, walls etc to be light weight construction and removable without affecting structural integrity

Concrete slab in front of existing roller doors to be painted in driveway slip resistant paint. Colours to match existing finishes

DOORS

all door widths noted on plans.

refer drawings 01 - 02 inclusive

door heights to be 2340 generally U.N.O

Stairs to have non slip nosing and/or surface

handrails to stairs to be 32mm Ø, 50mm clear from wall.

Stair 1, 1000mm clear Stair 2, 1600mm clear

Height of the top surface of the handrail must not be less than 865mm measured vertically above the nosing on the stair or floor surface

Ground floor - class 7.

Storage areas, and public wc's

New Kiosk area - class 6 (only 2%)

Construction Type A

External walls 190 rc concrete

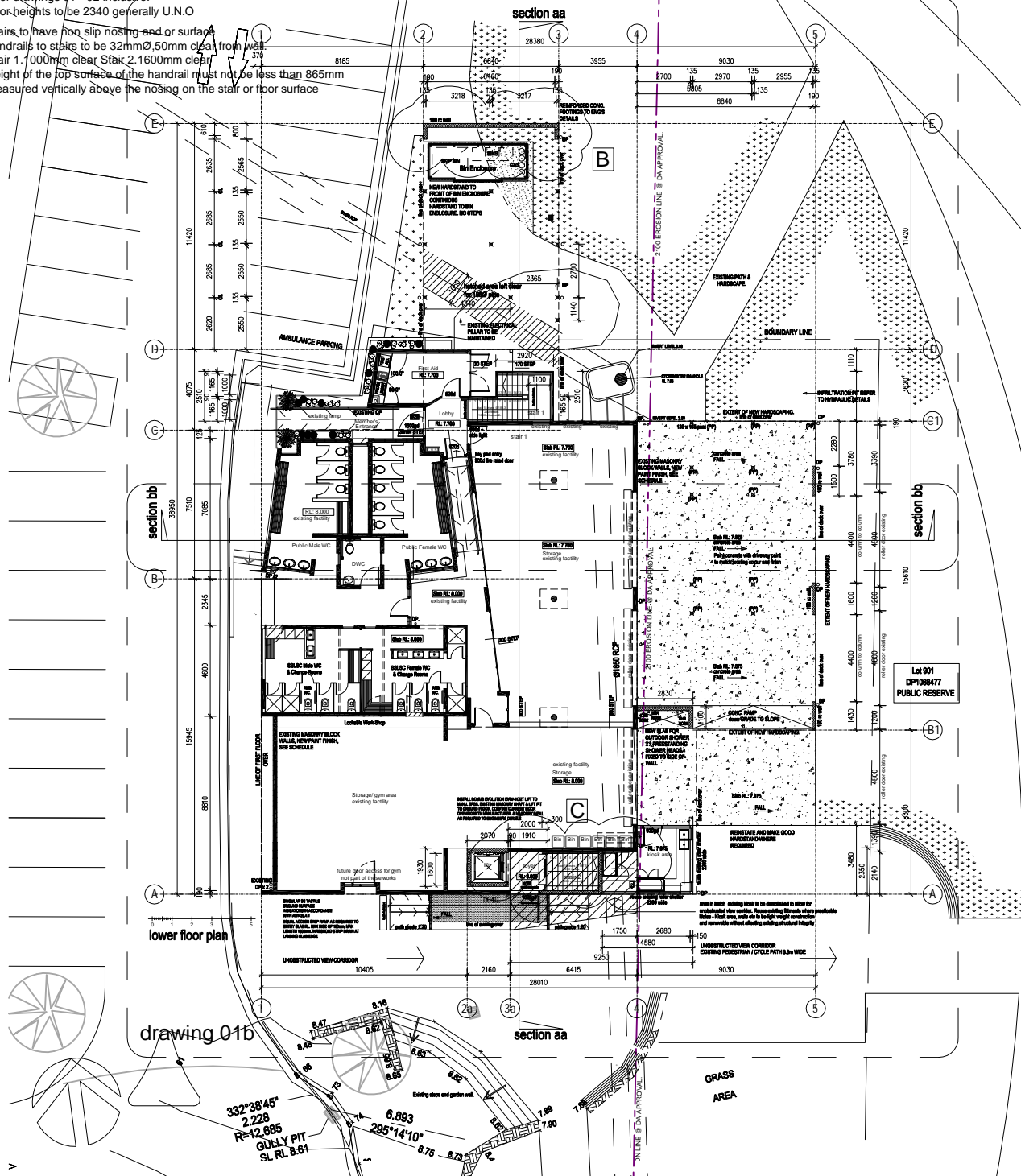
Floor rc slab

existing structure - reinforced concrete

Roof - 200 reinforced concrete

Kiosk type C construction

drawing 01a



site location Lot 173 on DP 1075495

23-01-18 (C)
 new door w25 to members area
 change to stair 2 width to 1600mm
 11-01-18
 nib walls removed from northdeck area

25-09-17
 change to kitchen and east roof / deck
 28-05-17
 change to bar areas
 28-05-17
 change to structural requirements

revision 0C
 scale 1-100 @A1

C of C
 proposed new Salt S.L.S.C
 drawing 01 - lower floor plan

freespace design
 david gallez architect
 dcl - now - dcl - vc
 m - 0404 895 802 e - david@freespace.net.au A.B.N. 61 387 104 920
 ARCHITECTURE - INTERIOR DESIGN
 URBAN DESIGN AND PLANNING - ENVIRONMENTAL DESIGN
 www.freespace.net.au
 copyright © 2017 Cannon Group

SALT S.L.S.C.

drawing 01a

section aa

revision 0C

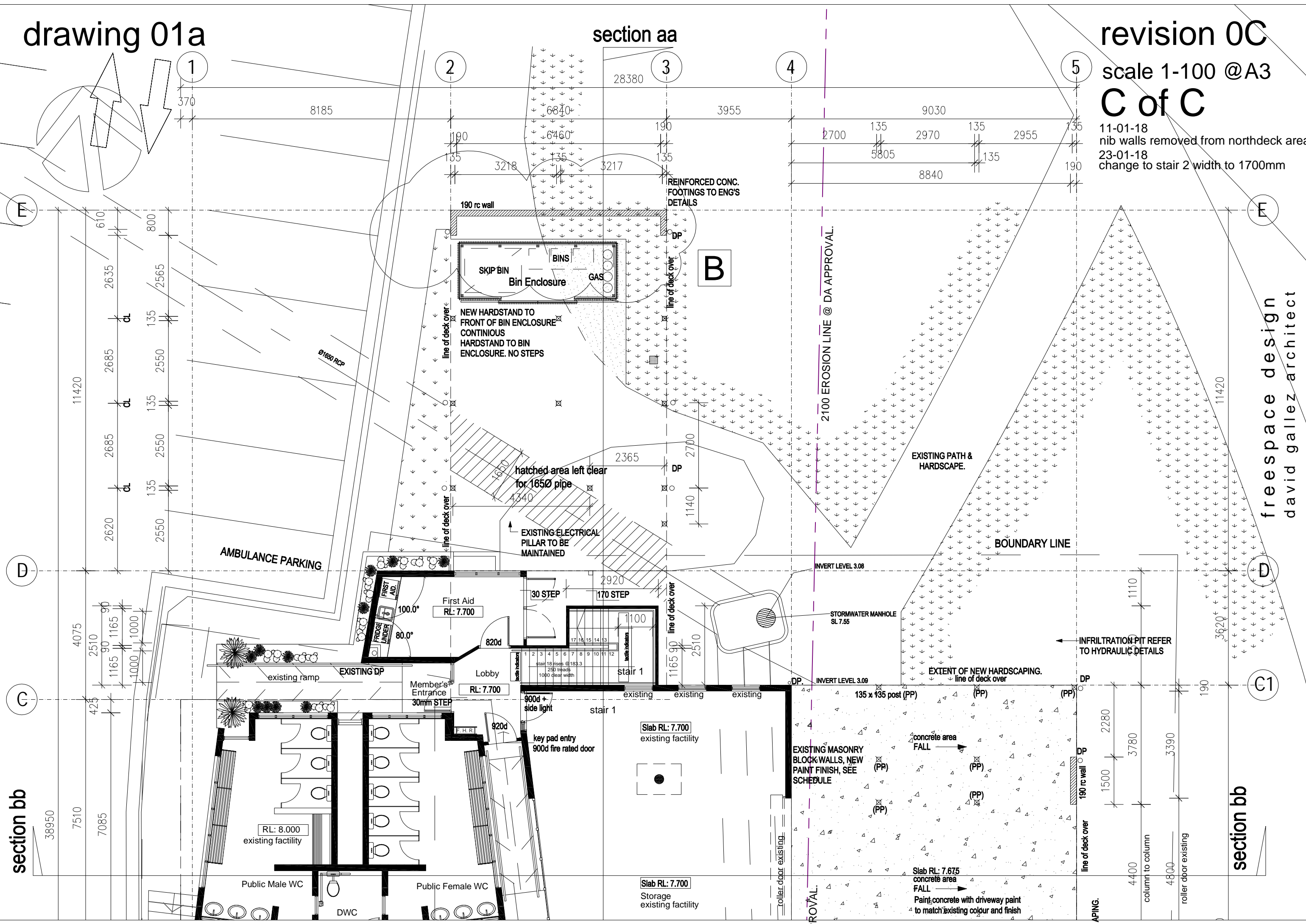
~~scale 1-100 @A3~~

~~C of C~~

~~11-01-18
nib walls removed from northdeck area
23-01-18
change to stair 2 width to 1700mm~~

freespace design
david gallez architect

section bb



(-A)

drawing 01b

freespace design
david gallez architect

section aa

C of C
revision 0C
scale 1-100 @A3
23-01-18
change to stair 2 width to 1700mm

GENERAL NOTES

roof material colorbond ultra (for surf conditions)
 roof colour - colorbond windspray
 all fixings and flashings to be compatible with colorbond roof to ensure no galvanic reaction
 fixing to manufacture's specification
 roof sheet profile to be custom orb generally except roof 6, 7, 8
 roof 6, 7, 8 roof sheet profile to be hiten long span @ 2° minimum
 gutters to match Mantra profiles. 250 wide

RL of existing floors to be retained U.N.O

RL 8.0 and 7.70 as noted on plan

Upper slab level to be RL 11.0 as noted on plans, sections and elevations

Notes - Kiosk area, walls etc to be light weight
 construction and removable without affecting structural integrity

DOORS

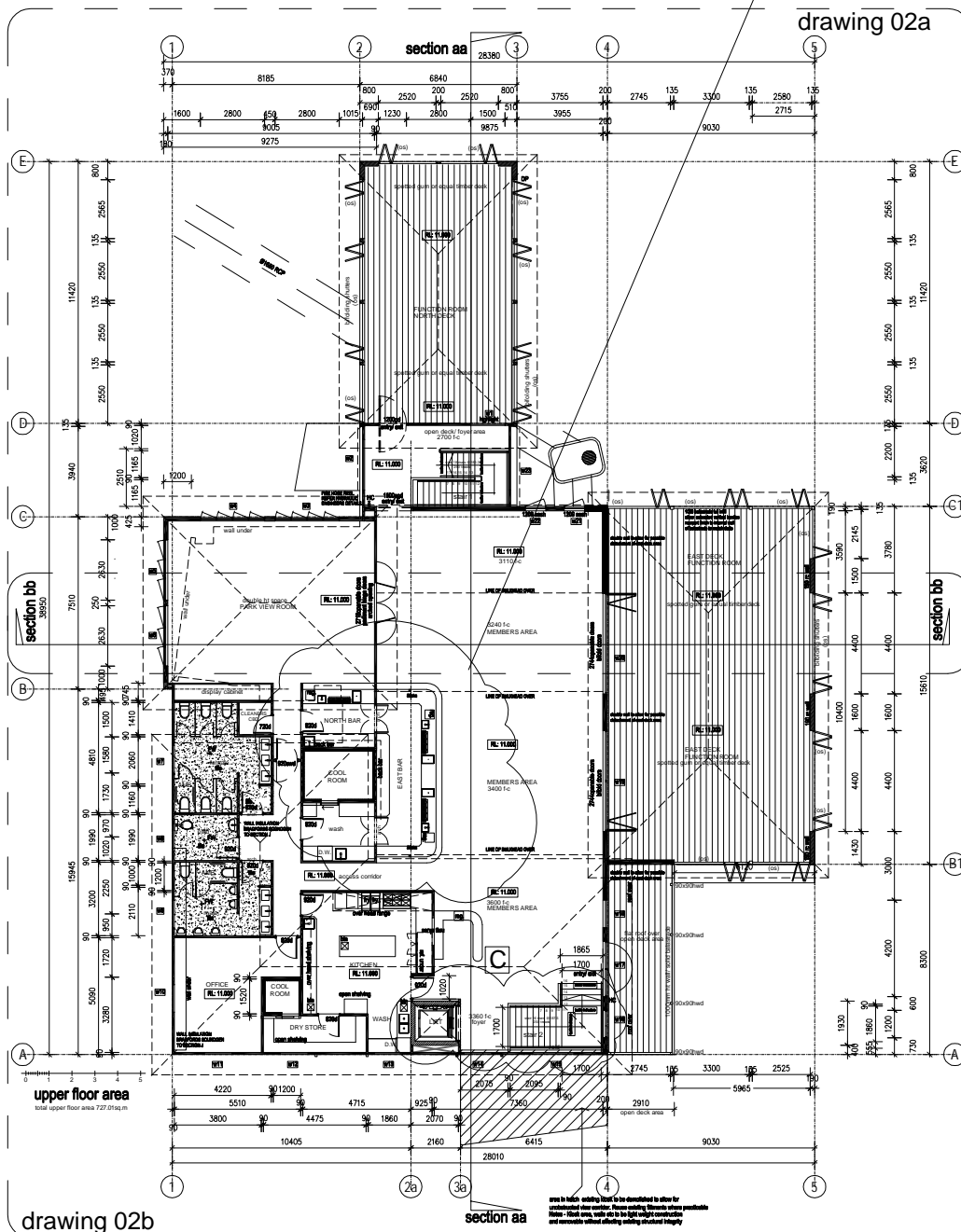
all door widths noted on plans.

refer drawings 01 - 02 inclusive.

door heights to be 2340 generally U.N.O



drawing 02a



Stairs/ handrails

handrails to stairs to be 32mmØ with

50mm clear from wall. Stair 1.1000mm clear Stair 2.1700mm clear

Height of the top surface of the handrail must not be less than 865mm
 measured vertically above the nosing on the stair or floor surface

23-01-18
 change to stair 2 width to 1700mm
 columns added

25-08-17
 change to kitchen and east roof / deck
 28-08-17
 change to bar areas
 28-08-17
 change to structural requirements

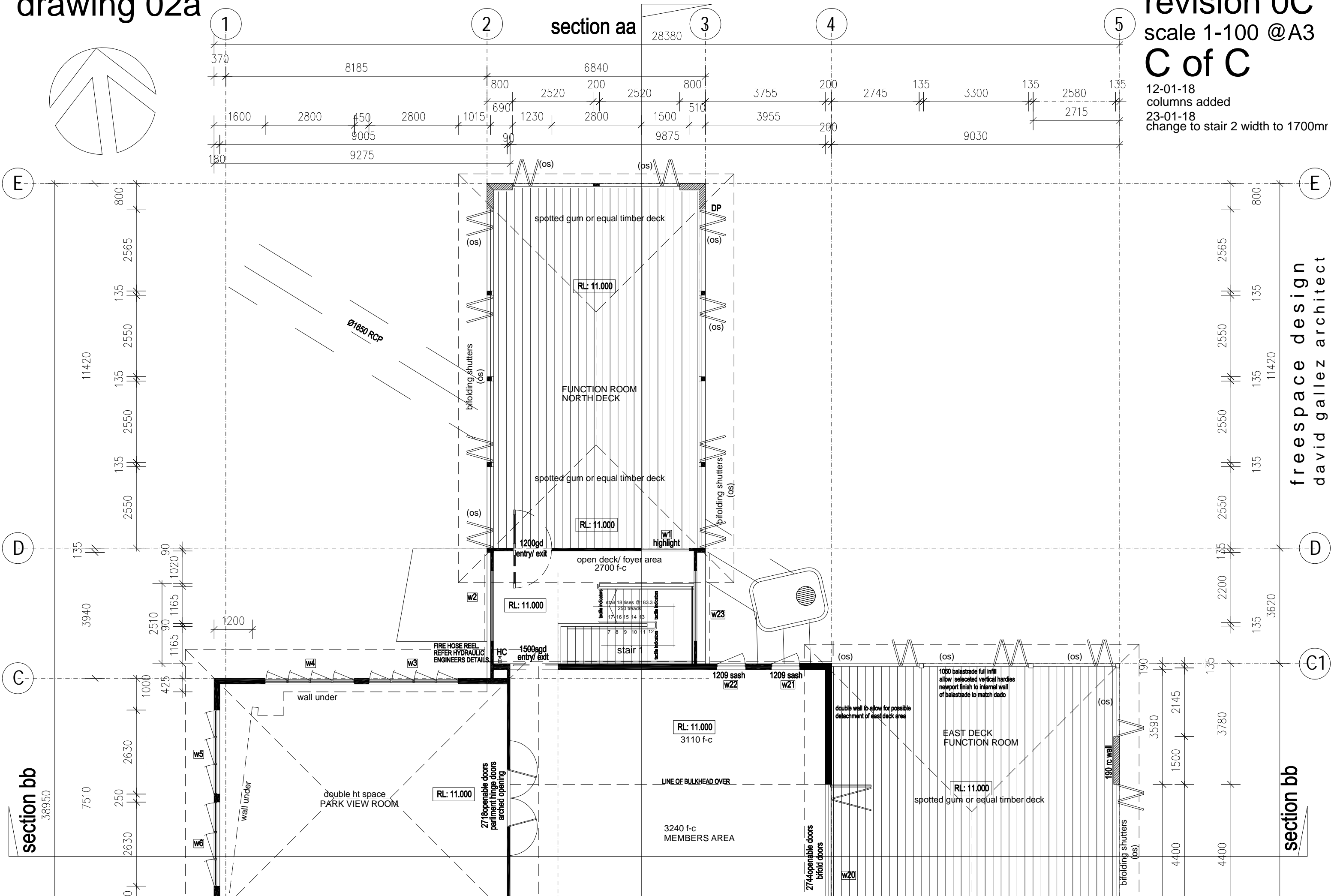
revision 0C
 scale 1-100 @A1

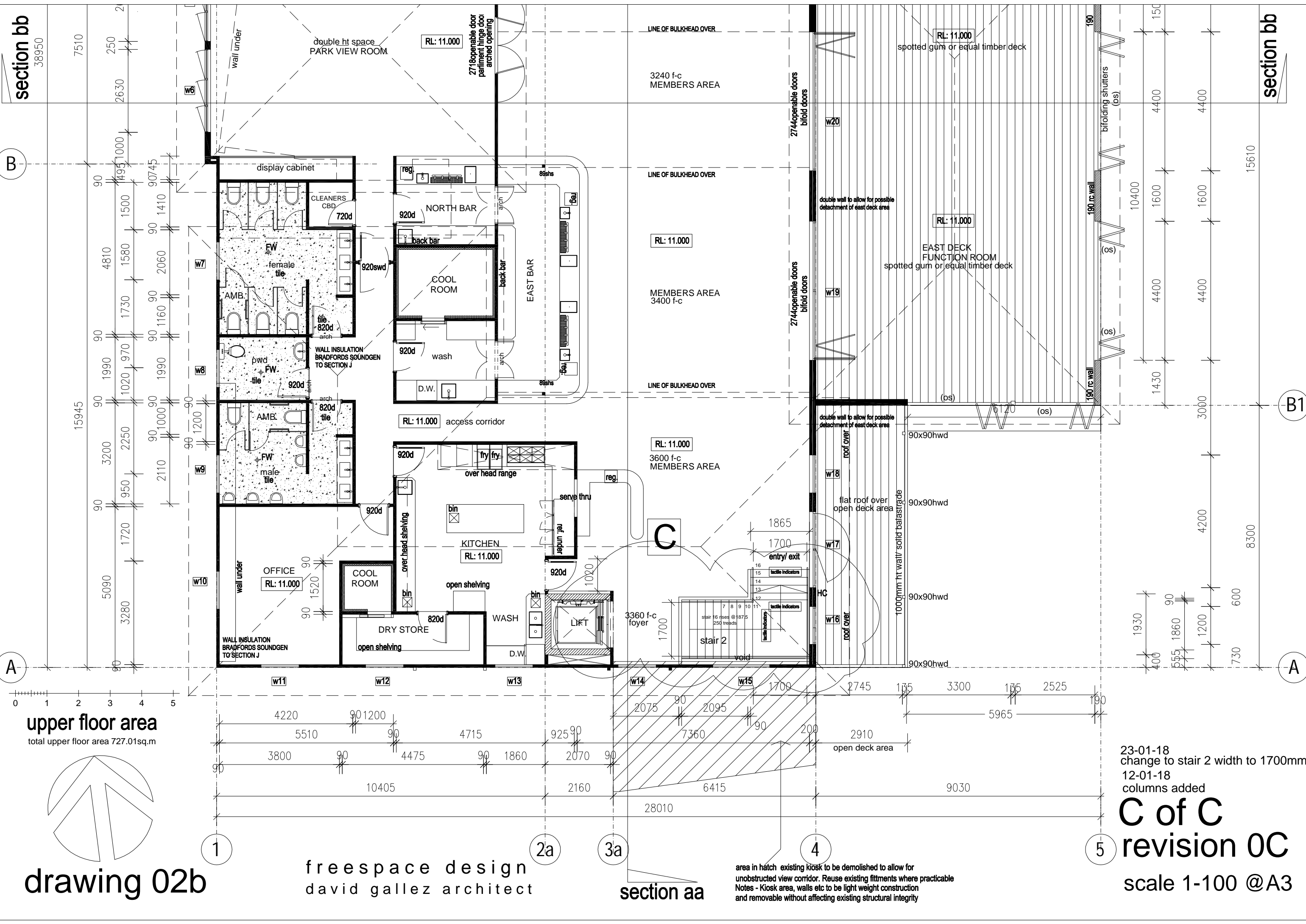
C of C
 proposed new Salt S.L.S.C
 drawing 02 - upper floor plan

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SALT S.L.S.C.

12-01-18 columns added	
23-01-18 change to stair 2 width to 1700mm	



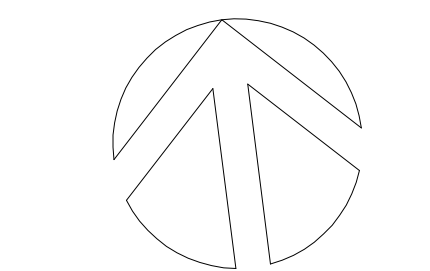


section bb
38950

B

A

upper floor area
total upper floor area 727.01sq.m



drawing 02b

freespace design
david gallez architect

section aa

section bb

B1

A

23-01-18
change to stair 2 width to 1700mm
12-01-18
columns added
C of C
revision 0C
scale 1-100 @A3

GENERAL NOTES

roof material colorbond ultra (for surf conditions)
 roof colour - colorbond windspray
 all fixings and flashings to be compatible with colorbond roof to ensure no galvanic reaction
 fixing to manufacture's specification
 roof sheet profile to be custom orb generally except roof 6, 7, 8
 roof 6, 7, 8 roof sheet profile to be hiten long span @ 2° minimum
 gutters to match Mantra profiles. 250 wide.
 Roof to be sarked with reflective material and ceilings to be insulated with a min. R2 blanket

RL of existing floors to be retained U.N.O

RL 8.0 and 7.70 as noted on plan

Upper slab level to be RL 11.0 as noted on plans, sections and elevations

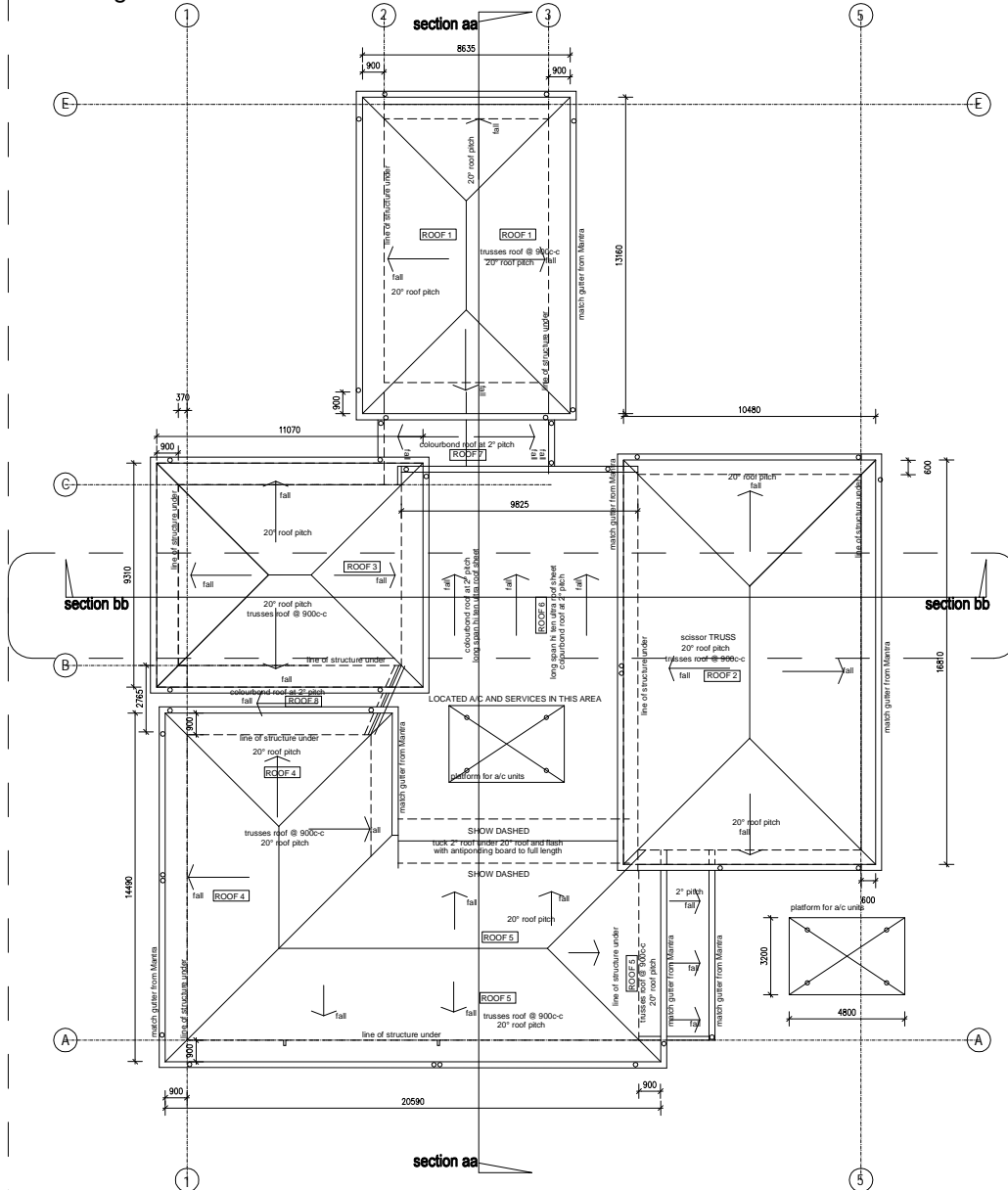
Notes - Kiosk area, walls etc to be light weight

construction and removable without affecting structural integrity

Roof 1 and Roof 2 areas over north and east bar to be constructed so that

strcutural integrity is not affected should these areas be removed

drawing 03a



drawing 03b



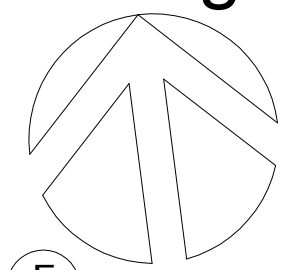
C of C
 proposed new Salt S.L.S.C
 drawing 03 - roof plan

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SALT S.L.S.C.

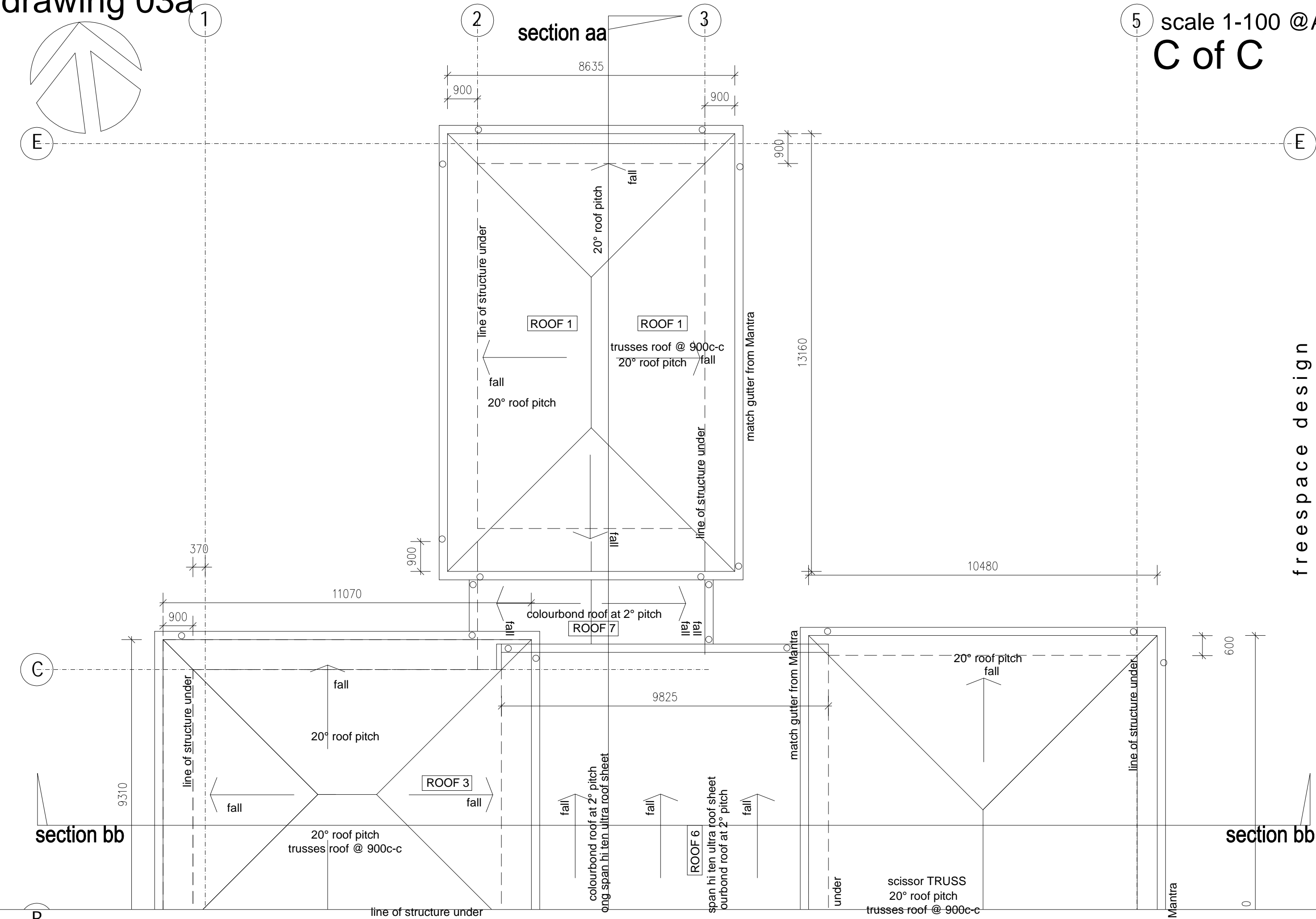
25-08-17
 change to kitchen and east roof / deck
 28-08-17
 change to bar areas
 28-08-17
 change to structural requirements
 revision 0A
 scale 1-100 @A1

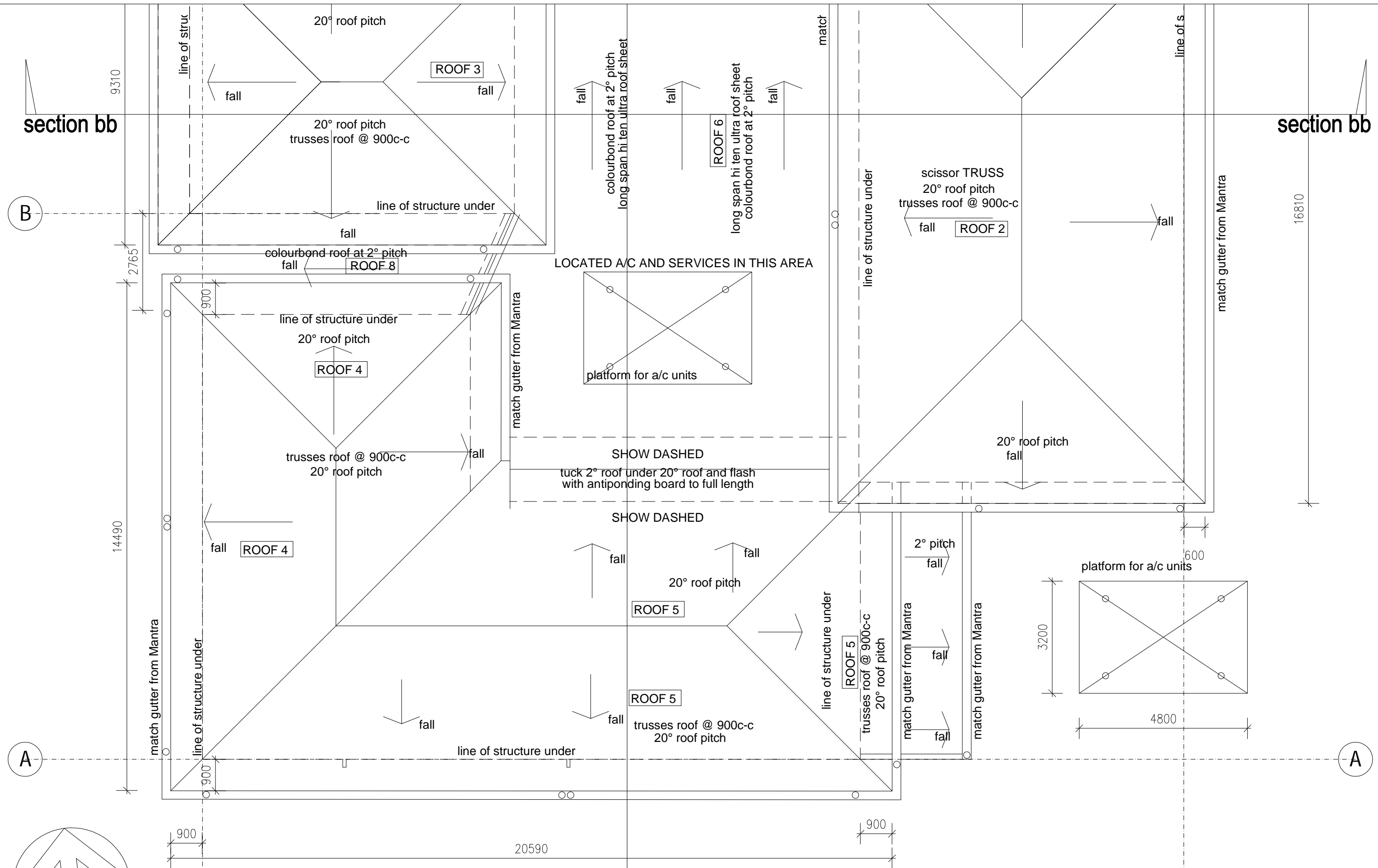
drawing 03a



revision 0A
scale 1-100 @A3
C of C

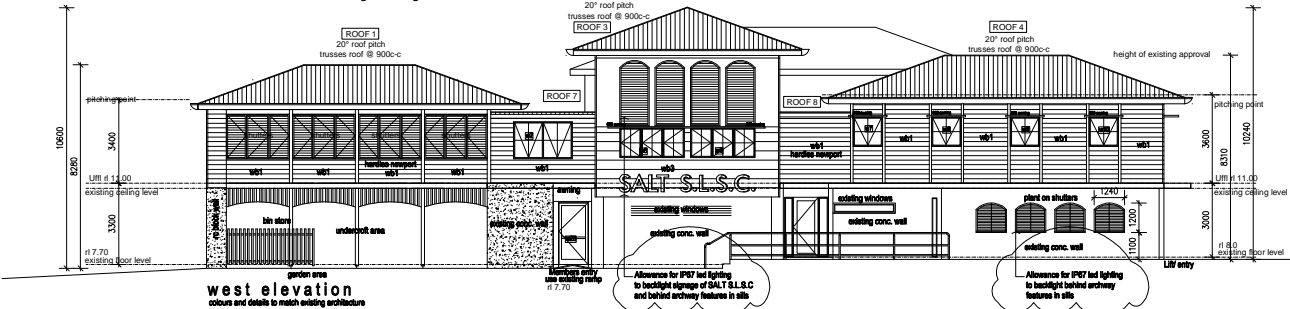
freespace design
david gallez architect



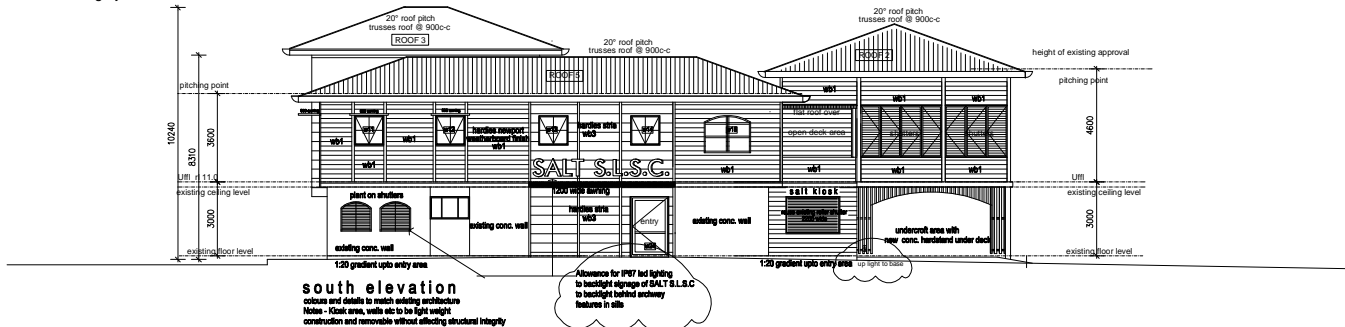


GENERAL NOTES

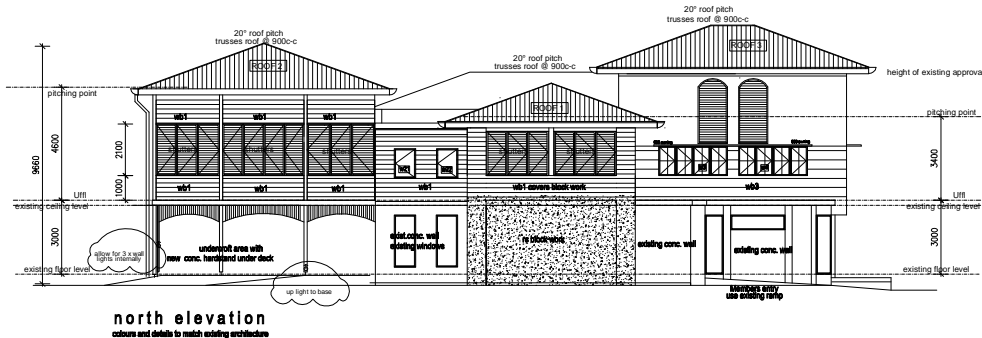
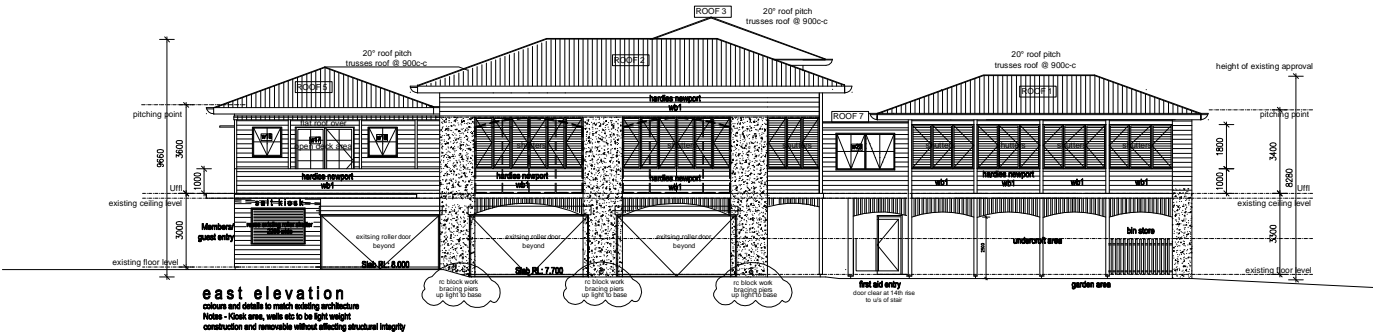
roof material colorbond ultra (for surf conditions)
roof colour - colorbond windspray
all fixings and flashings to be compatible with colorbond roof to ensure no galvanic reaction
fixing to manufacture's specification
roof sheet profile to be custom orb generally except roof 6, 7, 8
roof 6, 7, 8 roof sheet profile to be hiten long span @ 2" minimum
gutters to match Mantra profiles. 250 wide
Roof to be sarked with a min. R2 blanket on foil backing. Ceilings to be insulated with R2 min



RL of existing floors to be retained U.N.O
RL 8.0 and 7.70 as noted on plan
Upper slab level to be RL 11.0 as noted on plans, sections and elevations
Notes - Kiosk area, walls etc to be light weight
construction and removable without affecting structural integrity
North Deck and east deck areas to be constructed so that
structural integrity is not affected should these areas be removed



Roof to be sarked with a min. R2 blanket on foil backing. Ceilings to be insulated with R2 min

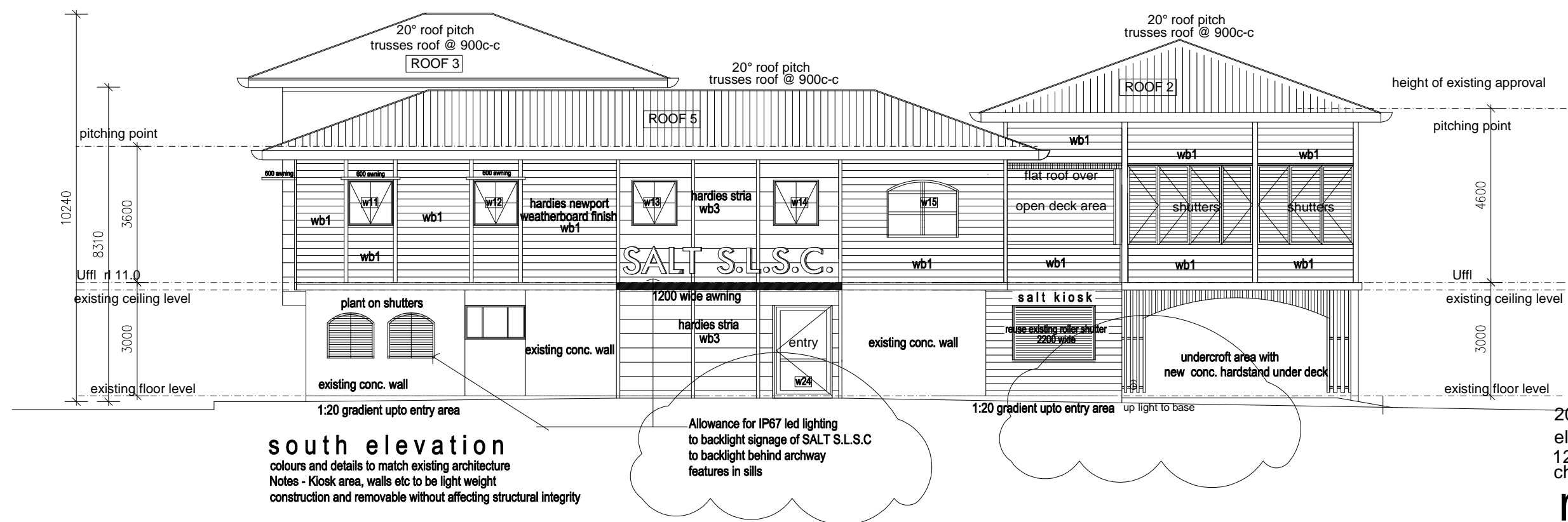
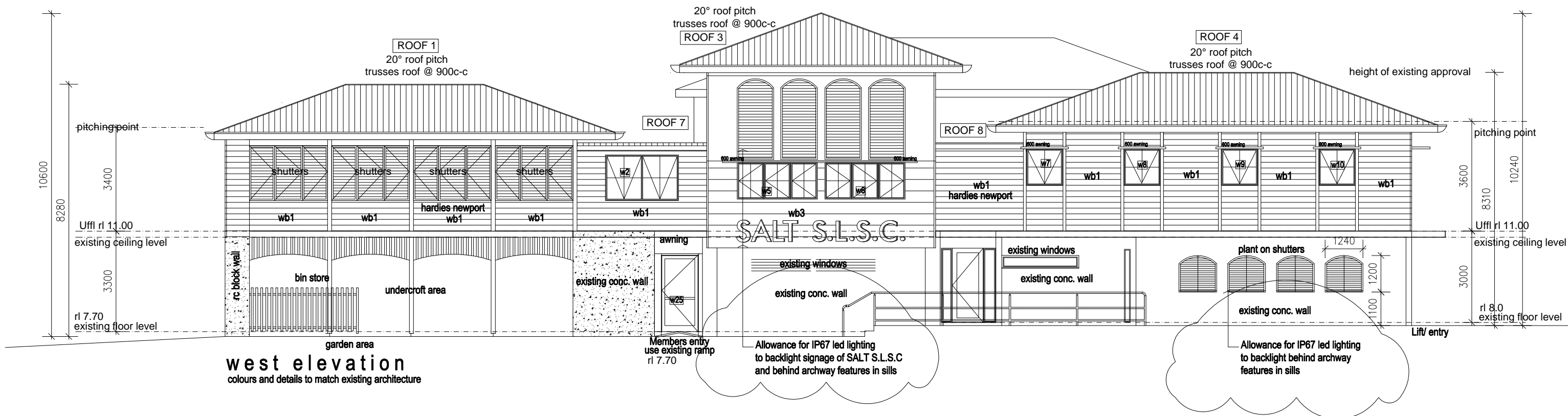


20-02-18 (TC)
electrical notes added
23-01-17 (C)
w25 added, New glazed entry door
12-01-17 (TC)
change to east deck pitching point
25-09-17
change to kitchen and east roof / deck
change to bar areas
change to structural requirements
revision 0C
scale 1-100 @A1

C of C
proposed new Salt S.L.S.C
drawing 04 - elevations

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SALT S.L.S.C.



20-02-18 (TC)
electrical notes added
12-01-17
change to east deck pitching point

revision 0C

scale 1-125 @A3

C of C

drawing 04a

freespace design
david gallez architect

GENERAL NOTES

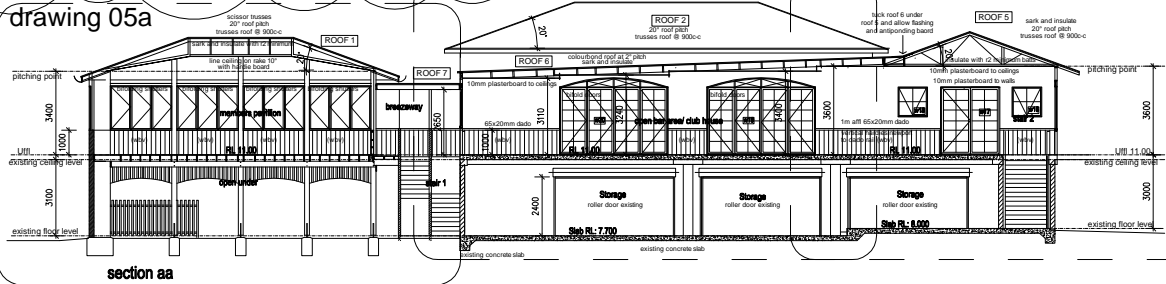
roof material colorbond ultra (for surf conditions)
 roof colour - colorbond windspray
 all fixings and flashings to be compatible with colorbond roof to ensure no galvanic reaction
 fixing to manufacture's specification
 roof sheet profile to be custom orb generally except roof 6, 7, 8
 roof 6, 7, 8 roof sheet profile to be higen long span @ 2° minimum
 gutters to match Mantra profiles, 250 wide.

Roof to be sarked with a min. R2 blanket on foil backing. Ceilings to be insulated with R2 min

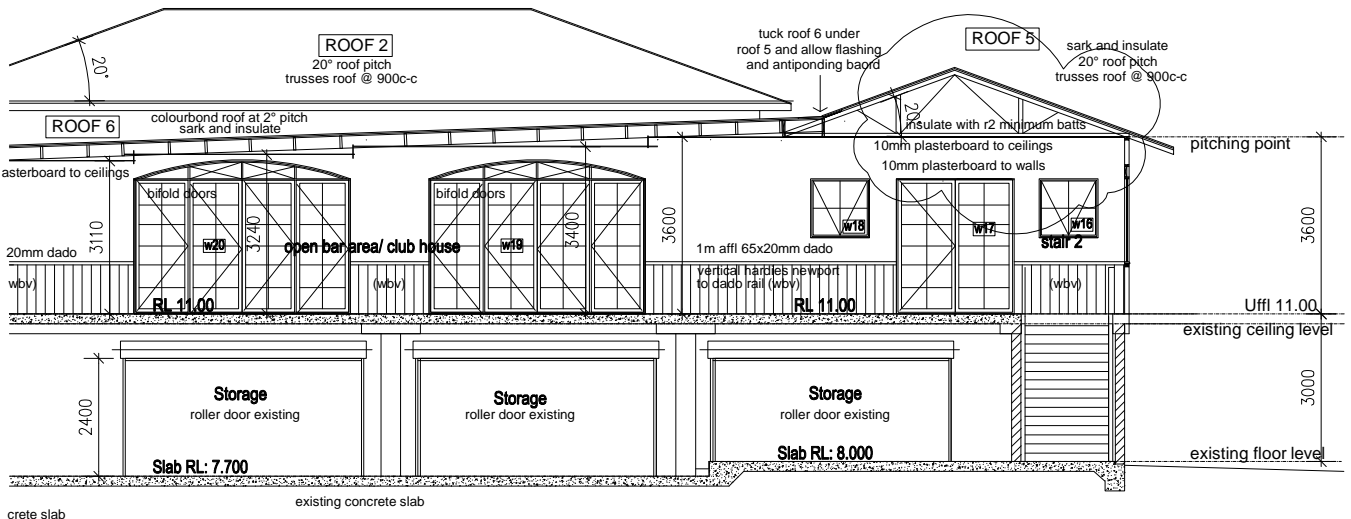
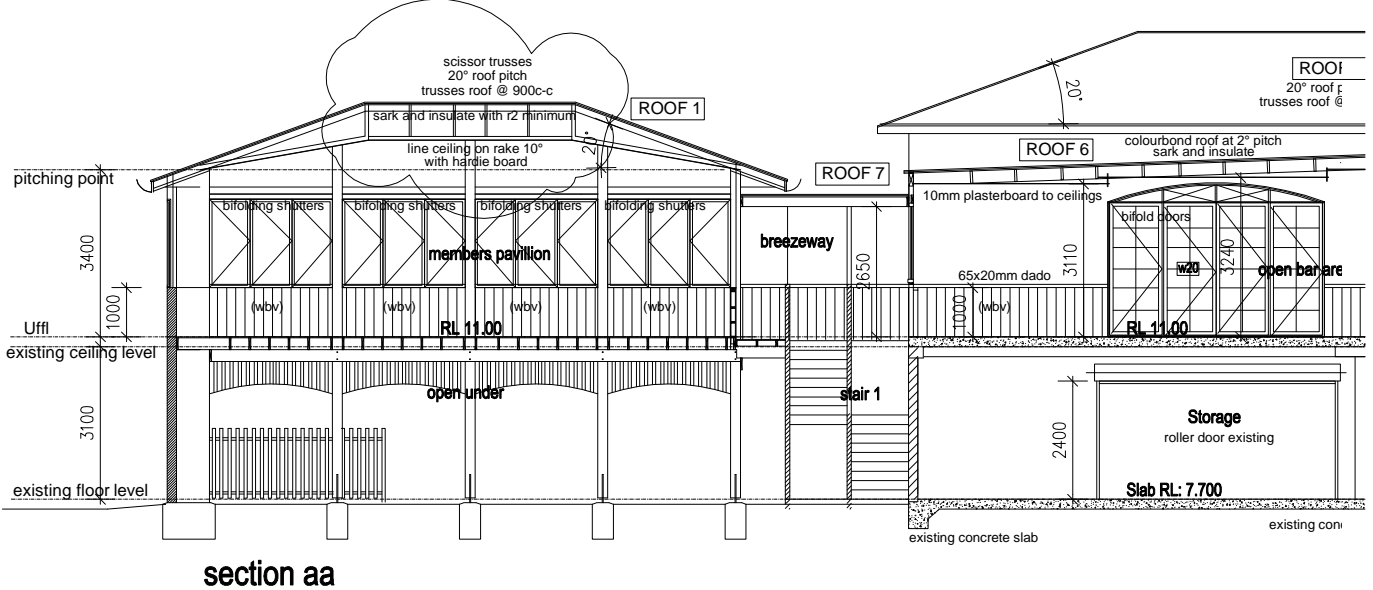
drawing 05b

drawing 05c

drawing 05a



Notes - Kiosk area, walls etc to be light weight construction and removable without affecting structural integrity
 Roof 1 and Roof 2 areas over north and east bar to be constructed so that structural integrity is not affected should these areas be removed



crete slab

existing concrete slab

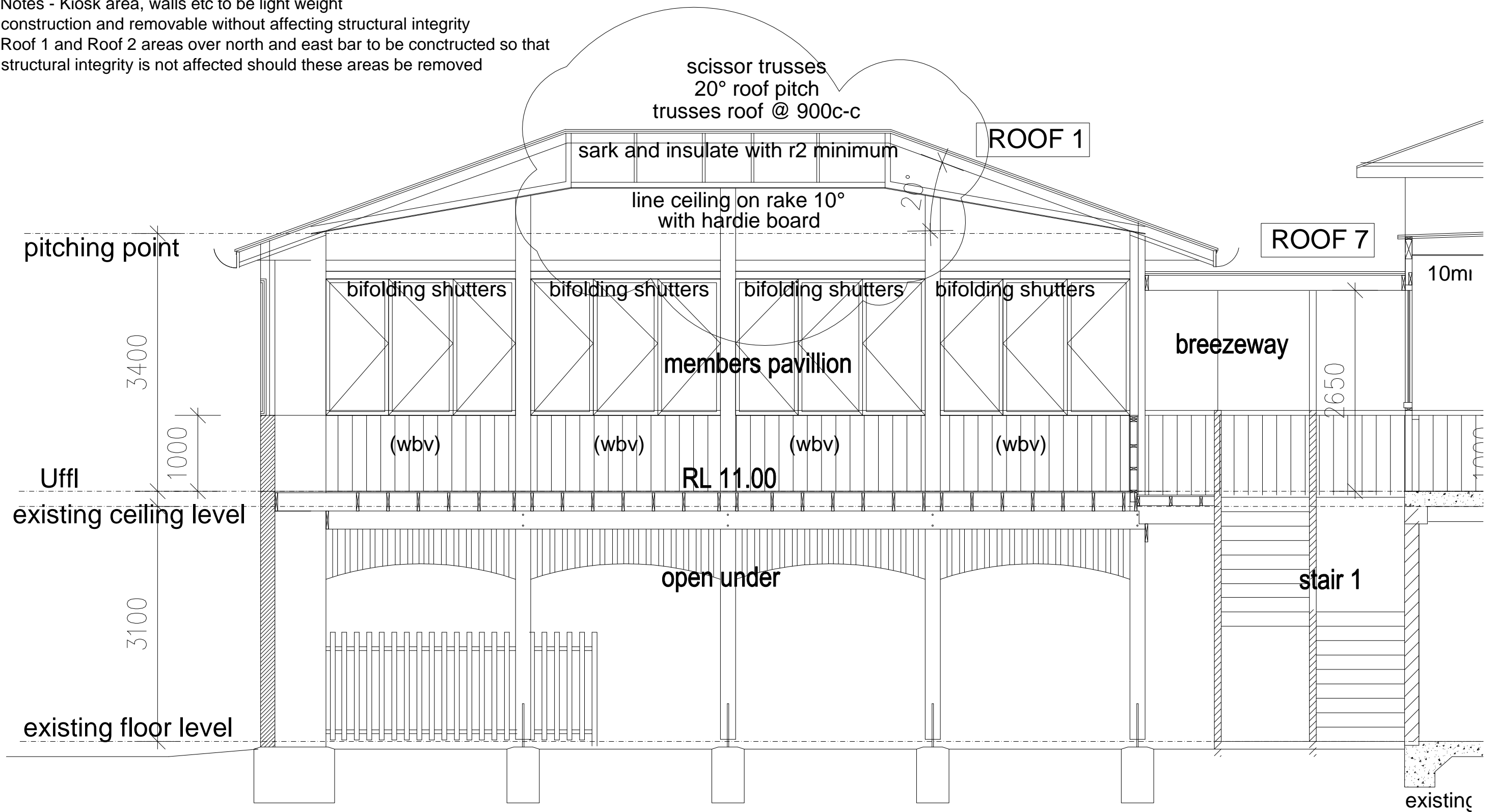
C of C
 proposed new Salt S.L.S.C
 drawing 05 - sectionaa

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SALT S.L.S.C.

20-02-18
 Section J information added by consult
 25-05-17
 change to kitchen and east roof / deck
 28-05-17
 change to bar areas
 28-05-17
 change to structural requirements
 revision 0C
 scale 1-100 & 1-50
 @A1

Notes - Kiosk area, walls etc to be light weight construction and removable without affecting structural integrity
Roof 1 and Roof 2 areas over north and east bar to be constructed so that structural integrity is not affected should these areas be removed



section aa

20-02-18
Section J information added by consultant

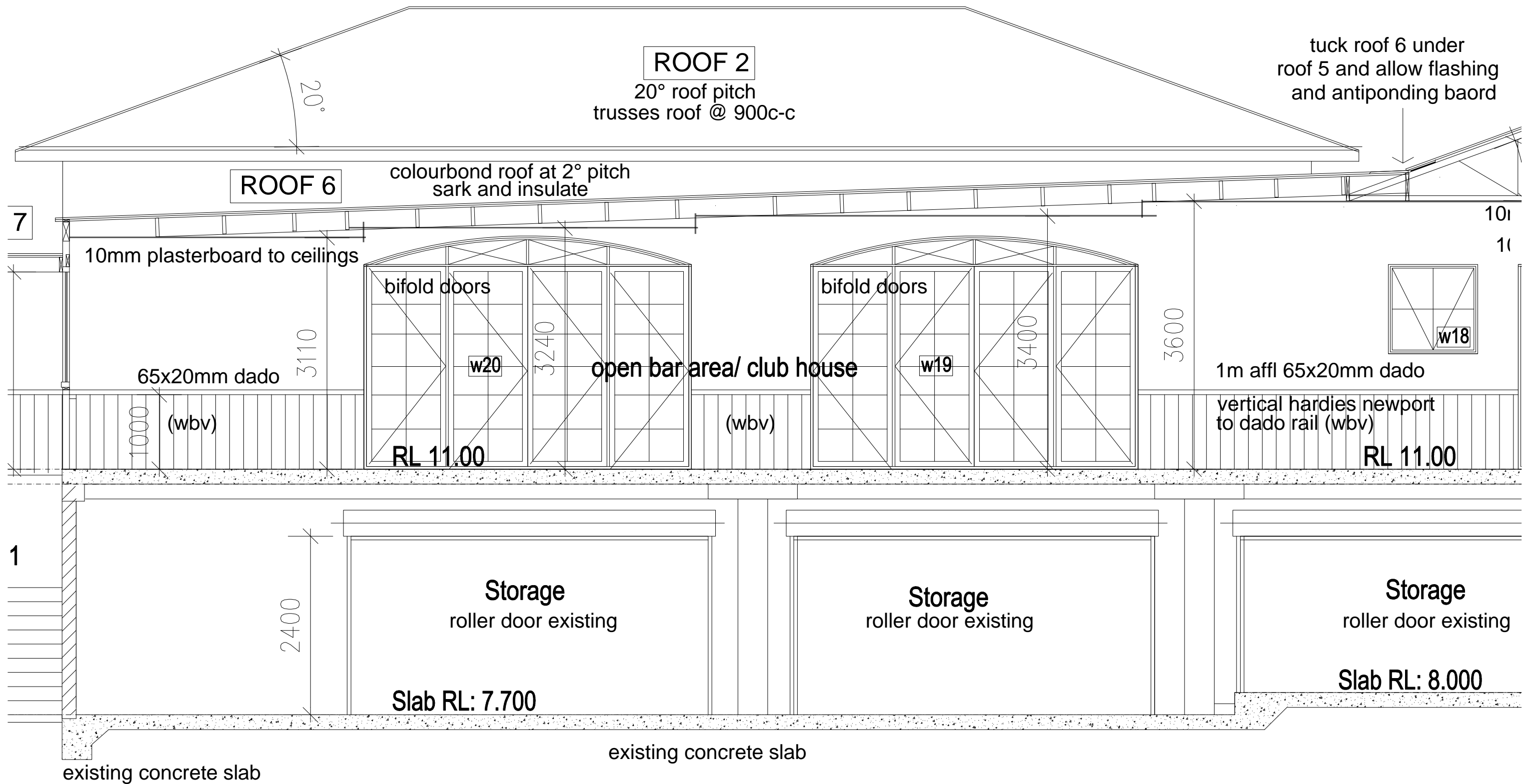
revision 0B

scale 1- 50 @A3

C of C

drawing 05a

freespace design
david gallez architect



20-02-18
Section J information added by consultant

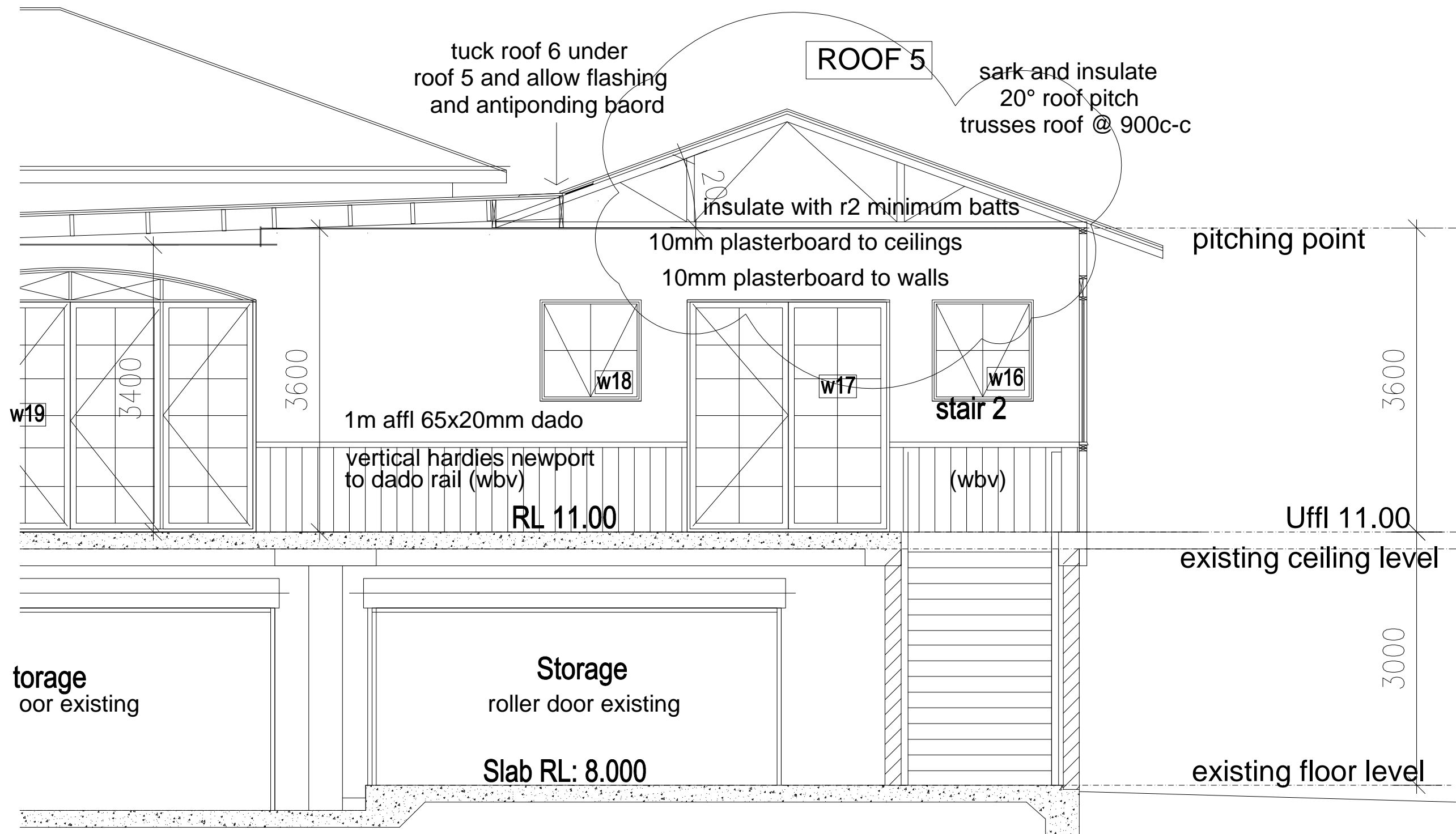
revision 0B

scale 1- 50 @A3

C of C

drawing 05b

freespace design
david gallez architect



20-02-18
Section J information added by consultant

revision 0B

scale 1- 50 @A3

C of C

drawing 05c

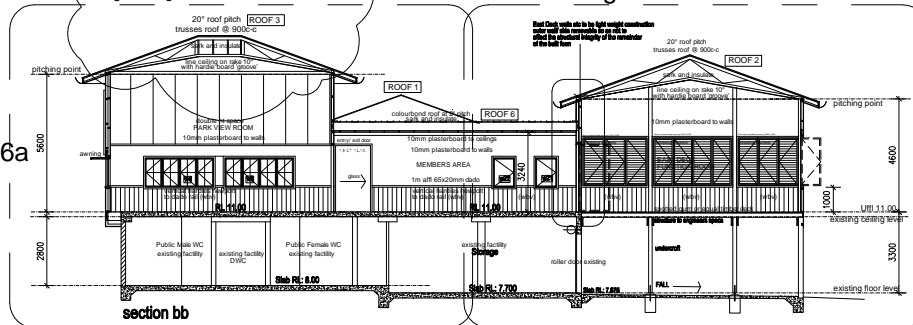
freespace design
david gallez architect

GENERAL NOTES

roof material colorbond ultra (for surf conditions)
roof colour - colorbond windspray
all fixings and flashings to be compatible with colorbond roof to ensure no galvanic reaction
fixing to manufacture's specification
roof sheet profile to be custom orb generally except roof 6, 7, 8
roof 6, 7, 8 roof sheet profile to be hiten long span @ 2" minimum

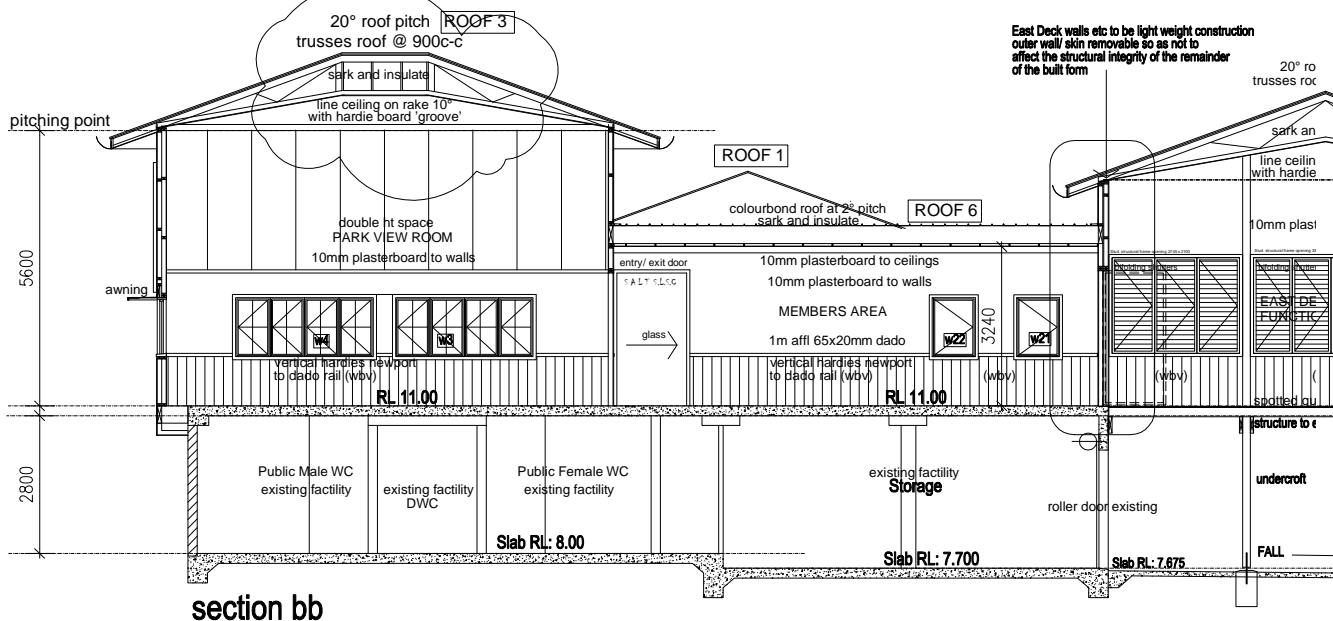
Roof to be sarked with a min. R2 blanket on foil backing. Ceilings to be insulated with R2 min

drawing 06a

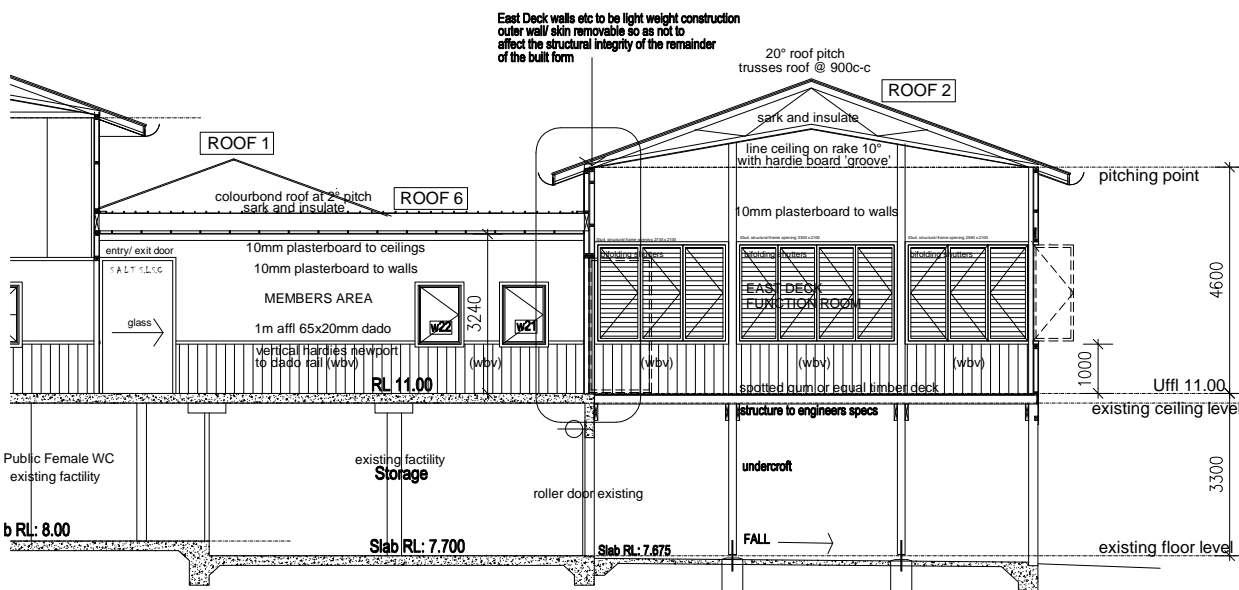


drawing 06b

Notes - Kiosk area, walls etc to be light weight construction and removable without affecting structural integrity
Roof 1 and Roof 2 areas over north and east bar to be constructed so that structural integrity is not affected should these areas be removed



section bb

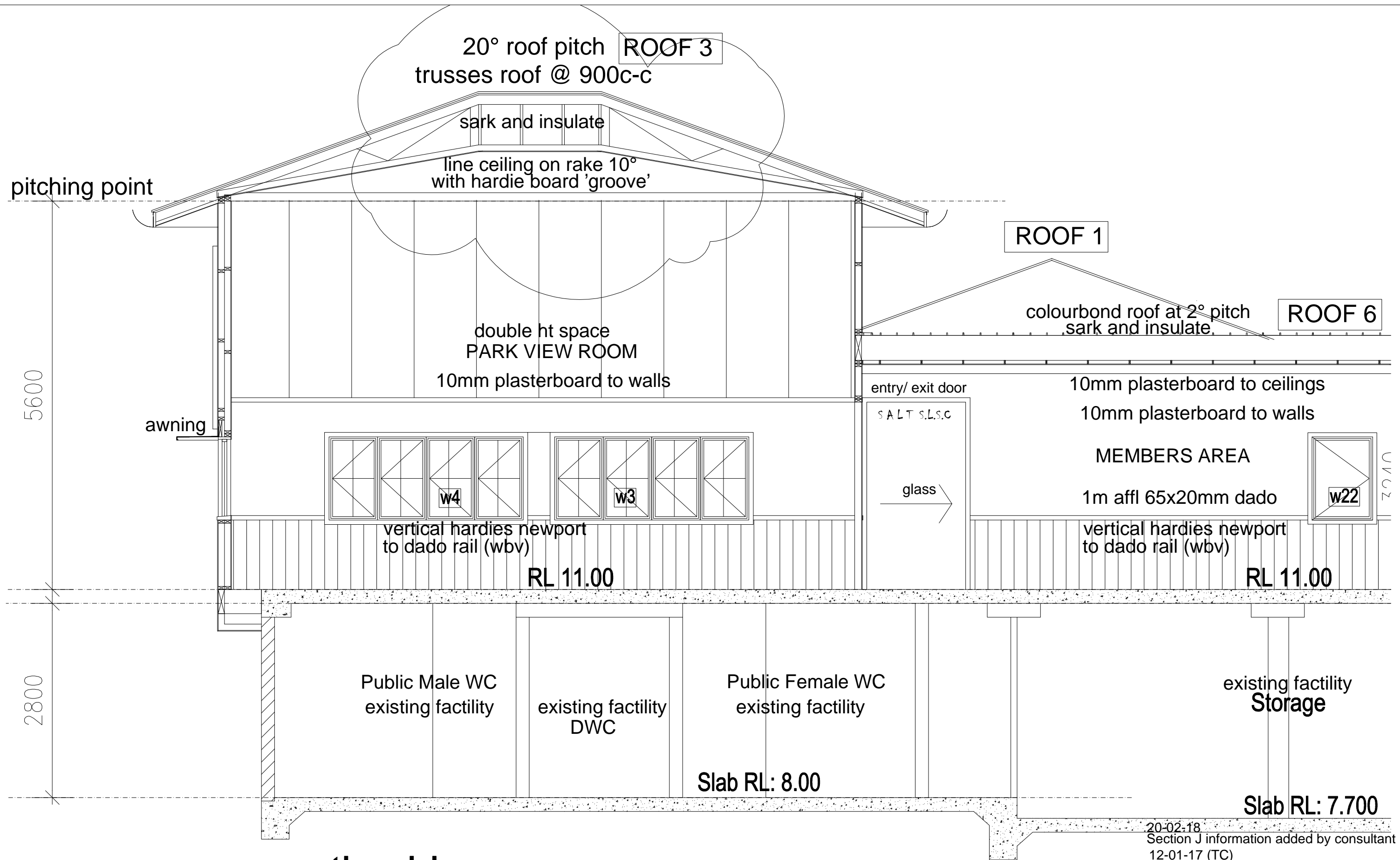


20-02-18
Section J information added by consultants
12-01-17
change to east deck pitching point
26-09-17
change to kitchen and east roof / deck
change to bar areas
change to structural requirements
revision 0C
scale 1-100 & 1-50
@A1

C of C
proposed new Salt S.L.S.C
drawing 06 - sectionbb

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section bb

drawing 06a

freespace design
david gallez architect

20-02-18
Section J information added by consultant
12-01-17 (TC)
change to east deck pitching point

revision 0B

scale 1- 50 @A3

C of C

East Deck walls etc to be light weight construction
outer wall/ skin removable so as not to
affect the structural integrity of the remainder
of the built form

20° roof pitch
trusses roof @ 900c-c

ROOF 2

sark and insulate

line ceiling on rake 10°
with hardie board 'groove'

10mm plasterboard to walls

pitching point

ch ROOF 6

to ceilings
d to walls

EA

dado

ewport

w22

w21

3240

(wbv)

(wbv)

(wbv)

(wbv)

RL 11.00

spotted gum or equal timber deck

Uffi 11.00

existing ceiling level

existing facility
Storage

roller door existing

undercroft

Slab RL: 7.700

Slab RL: 7.675

FALL →

existing floor level

20-02-18
Section J information added by consultant
12-01-17 (TC)
change to east deck pitching point

revision 0C

scale 1- 50 @A3

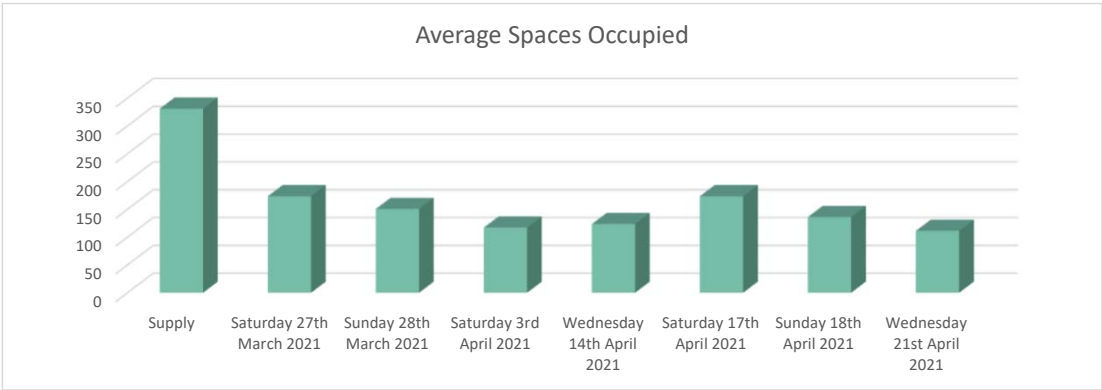
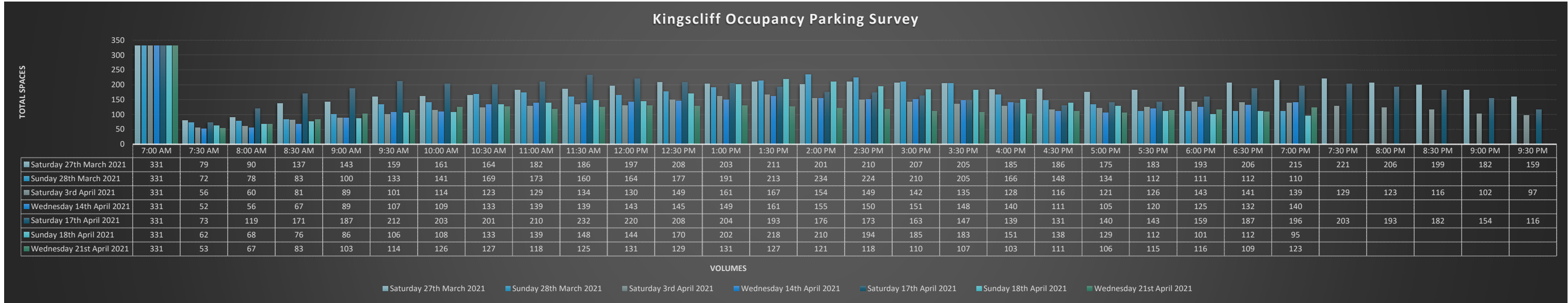
C of C

drawing 06b

freespace design
david gallez architect

Appendix B: Parking Survey Results

Day/Date	Supply	7:00 AM	7:30 AM	8:00 AM	8:30 AM	9:00 AM	9:30 AM	10:00 AM	10:30 AM	11:00 AM	11:30 AM	12:00 PM	12:30 PM	1:00 PM	1:30 PM	2:00 PM	2:30 PM	3:00 PM	3:30 PM	4:00 PM	4:30 PM	5:00 PM	5:30 PM	6:00 PM	6:30 PM	7:00 PM	7:30 PM	8:00 PM	8:30 PM	9:00 PM	9:30 PM	Average Spaces Occupied	Max Spaces Occupied
Saturday 27th March 2021	331	79	90	137	143	159	161	164	182	186	197	208	203	211	201	210	207	205	185	186	175	183	193	206	215	221	206	199	182	159	130	179	221
Sunday 28th March 2021	331	72	78	83	100	133	141	169	173	160	164	177	191	213	234	224	210	205	166	148	134	112	111	112	110						151	234	
Saturday 3rd April 2021	331	56	60	81	89	101	114	123	129	134	130	149	161	167	154	149	142	135	128	116	121	126	143	141	139	129	123	116	102	97	80	121	167
Wednesday 14th April 2021	331	52	56	67	89	107	109	133	139	139	143	145	149	161	155	150	151	148	140	111	105	120	125	132	140						124	161	
Saturday 17th April 2021	331	73	119	171	187	212	203	201	210	232	220	208	204	193	176	173	163	147	139	131	140	143	159	187	196	203	193	182	154	116	174	174	232
Sunday 18th April 2021	331	62	68	76	86	106	108	133	139	148	144	170	202	218	210	194	185	183	151	138	129	112	101	112	95						136	218	
Wednesday 21st April 2021	331	53	67	83	103	114	126	127	118	125	131	129	131	127	121	118	110	107	103	111	106	115	116	109	123						111	131	
Average		55	67	90	101	119	121	132	139	142	142	148	151	158	153	151	146	140	126	115	113	114	122	130	133	92	87	83	73	62	77	142	195



Street Section ID	Saturday 27th March 2021 Description	7:00 AM		7:30 AM		8:00 AM		8:30 AM		9:00 AM		9:30 AM		10:00 AM		10:30 AM		11:00 AM		11:30 AM		12:00 PM		12:30 PM		1:00 PM		1:30 PM		2:00 PM		2:30 PM		3:00 PM		3:30 PM		4:00 PM		4:30 PM		5:00 PM		5:30 PM		6:00 PM		6:30 PM		7:00 PM		7:30 PM		8:00 PM		8:30 PM		9:00 PM		9:30 PM		Average Spaces Occupied	Max Spaces Occupied																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
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Street		Sunday 28th March 2021		7:00 AM		7:30 AM		8:00 AM		8:30 AM		9:00 AM		9:30 AM		10:00 AM		10:30 AM		11:00 AM		11:30 AM		12:00 PM		12:30 PM		1:00 PM		1:30 PM		2:00 PM		2:30 PM		3:00 PM		3:30 PM		4:00 PM		4:30 PM		5:00 PM		5:30 PM		6:00 PM		6:30 PM		Average Spaces Occupied	Max Spaces Occupied
Section ID	Description	Supply	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%			
1	Bells Blvd from Bells Blvd to Pass St	68	27	40%	27	40%	29	43%	35	51%	51	75%	51	75%	54	79%	53	78%	43	63%	42	62%	41	60%	39	57%	41	60%	44	65%	43	63%	43	63%	42	62%	38	56%	39	57%	36	53%	20	29%	11	16%	11	16%	13	19%	36	54	
2	Bells Blvd from Pass St to corner	47	2	4%	1	2%	1	2%	1	2%	1	2%	1	2%	4	9%	3	6%	6	13%	6	13%	9	19%	10	21%	8	17%	15	32%	15	32%	12	26%	11	23%	9	19%	4	9%	4	9%	3	6%	3	6%	3	6%	3	6%	6	15	
3	Bells Blvd along water front	44	12	27%	10	23%	14	32%	17	39%	21	48%	21	48%	17	39%	17	39%	13	30%	13	30%	14	32%	16	36%	28	64%	33	75%	33	75%	33	75%	30	68%	24	55%	17	39%	17	39%	15	34%	9	20%	6	14%	7	16%	18	33	
4	Bells Blvd Carpark north side	39	6	15%	6	15%	6	15%	9	23%	13	33%	17	44%	26	67%	29	74%	30	77%	27	69%	34	87%	32	82%	38	97%	38	97%	35	90%	33	85%	34	87%	23	59%	27	69%	20	51%	17	44%	18	46%	20	51%	22	56%	23	38	
5	Bells Blvd Carpark centre parking	40	9	23%	13	33%	12	30%	14	35%	19	48%	15	38%	27	68%	33	83%	30	75%	34	85%	37	93%	35	88%	38	95%	37	93%	34	85%	34	85%	32	80%	33	83%	28	70%	25	63%	22	55%	29	73%	27	68%	25	63%	27	38	
6	Bells Blvd Carpark south side	36	9	25%	12	33%	10	28%	11	31%	13	36%	17	47%	15	42%	15	42%	14	39%	21	58%	20	56%	29	81%	29	81%	32	89%	32	89%	27	75%	29	81%	19	53%	15	42%	15	42%	14	39%	16	44%	21	58%	20	56%	19	32	
7	Bells Blvd roadside parking	20	2	10%	3	15%	2	10%	2	10%	5	25%	4	20%	8	40%	8	40%	11	55%	10	50%	11	55%	16	80%	16	80%	18	90%	16	80%	12	60%	11	55%	5	25%	4	20%	5	25%	8	40%	10	50%	10	50%	10	50%	9	18	
8	Gunnamatta Ave carpark	37	5	14%	6	16%	9	24%	11	30%	10	27%	15	41%	18	49%	15	41%	13	35%	11	30%	11	30%	14	38%	15	41%	17	46%	16	43%	16	43%	16	43%	15	41%	14	38%	12	32%	13	35%	15	41%	14	38%	10	27%	13	18	
Grand Total		331	72	22%	78	24%	83	25%	100	30%	133	40%	141	43%	169	51%	173	52%	160	48%	164	50%	177	53%	191	58%	213	64%	234	71%	224	68%	210	63%	205	62%	166	50%	148	45%	134	40%	112	34%	111	34%	112	34%	110	33%	151	234	

[illegible]

Street Section ID		Wednesday 14th April 2021		7:00 AM		7:30 AM		8:00 AM		8:30 AM		9:00 AM		9:30 AM		10:00 AM		10:30 AM		11:00 AM		11:30 AM		12:00 PM		12:30 PM		1:00 PM		1:30 PM		2:00 PM		2:30 PM		3:00 PM		3:30 PM		4:00 PM		4:30 PM		5:00 PM		5:30 PM		6:00 PM		6:30 PM		Average Spaces Occupied	Max Spaces Occupied
				Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%	Supply	Occ	%					
1	Bells Blvd from Bells Blvd to Pass St	68	14	21%	15	22%	16	24%	22	32%	33	49%	34	50%	36	53%	40	59%	38	56%	39	57%	37	54%	37	54%	40	59%	39	57%	36	53%	36	53%	37	54%	38	56%	25	37%	23	34%	23	34%	20	29%	16	24%	16	24%	30	40	
2	Bells Blvd from Pass St to corner	47	4	9%	4	9%	1	2%	3	6%	3	6%	4	9%	3	6%	3	6%	3	6%	2	4%	2	4%	2	4%	3	6%	3	6%	2	4%	3	6%	2	4%	3	6%	3	6%	3	6%	3	6%	3	6%	3	6%	3	4			
3	Bells Blvd along water front	44	1	2%	1	2%	5	11%	1	2%	1	2%	1	2%	2	5%	1	2%	5	11%	4	9%	2	5%	5	11%	5	11%	5	11%	3	7%	5	11%	3	7%	2	5%	1	2%	1	2%	1	2%	0	0%	0	0%	0	0%	2	5	
4	Bells Blvd Carpark north side	39	6	15%	9	23%	8	21%	11	28%	16	41%	13	33%	21	54%	22	56%	24	62%	27	69%	27	69%	29	74%	31	79%	30	77%	29	74%	26	67%	34	87%	27	69%	25	64%	21	54%	23	59%	27	69%	28	72%	31	79%	23	34	
5	Bells Blvd Carpark centre parking	40	14	35%	11	28%	15	38%	17	43%	18	45%	17	43%	27	68%	28	70%	25	63%	25	63%	28	70%	29	73%	30	75%	29	73%	26	65%	27	68%	25	63%	25	63%	20	50%	20	50%	24	60%	30	75%	32	80%	33	83%	24	33	
6	Bells Blvd Carpark south side	36	6	17%	7	19%	11	31%	17	47%	15	42%	15	42%	12	33%	13	36%	10	28%	14	39%	16	44%	16	44%	19	53%	15	42%	16	44%	16	44%	15	42%	11	31%	6	17%	9	25%	16	44%	17	47%	23	64%	29	81%	14	29	
7	Bells Blvd roadside parking	20	1	5%	2	10%	3	15%	7	35%	10	50%	10	50%	12	60%	14	70%	14	70%	15	75%	17	85%	18	90%	18	90%	18	90%	20	100%	19	95%	15	75%	17	85%	12	60%	10	50%	13	65%	17	85%	19	95%	19	95%	13	20	
8	Gunnamatta Ave carpark	37	6	16%	7	19%	8	22%	11	30%	11	30%	15	41%	20	54%	18	49%	20	54%	17	46%	16	43%	13	35%	15	41%	16	43%	18	49%	19	51%	17	46%	17	46%	19	51%	18	49%	17	46%	11	30%	11	30%	9	24%	15	20	
Grand Total		331	52	16%	56	17%	67	20%	89	27%	107	32%	109	33%	133	40%	139	42%	139	42%	143	43%	145	44%	149	45%	161	49%	155	47%	150	45%	151	46%	148	45%	140	42%	111	34%	105	32%	120	36%	125	38%	132	40%	140	42%	124	161	

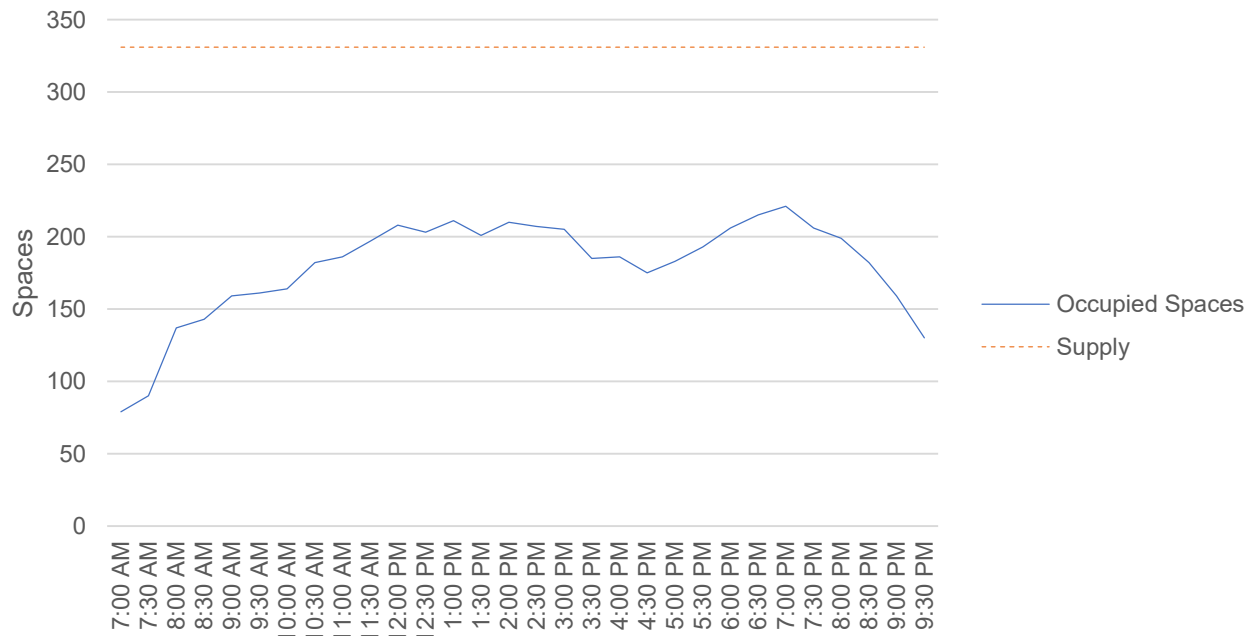
[illegible]

Street Section ID		Sunday 18th April 2021		7:00 AM		7:30 AM		8:00 AM		8:30 AM		9:00 AM		9:30 AM		10:00 AM		10:30 AM		11:00 AM		11:30 AM		12:00 PM		12:30 PM		1:00 PM		1:30 PM		2:00 PM		2:30 PM		3:00 PM		3:30 PM		4:00 PM		4:30 PM		5:00 PM		5:30 PM		6:00 PM		6:30 PM		Average Spaces Occupied	Max Spaces Occupied																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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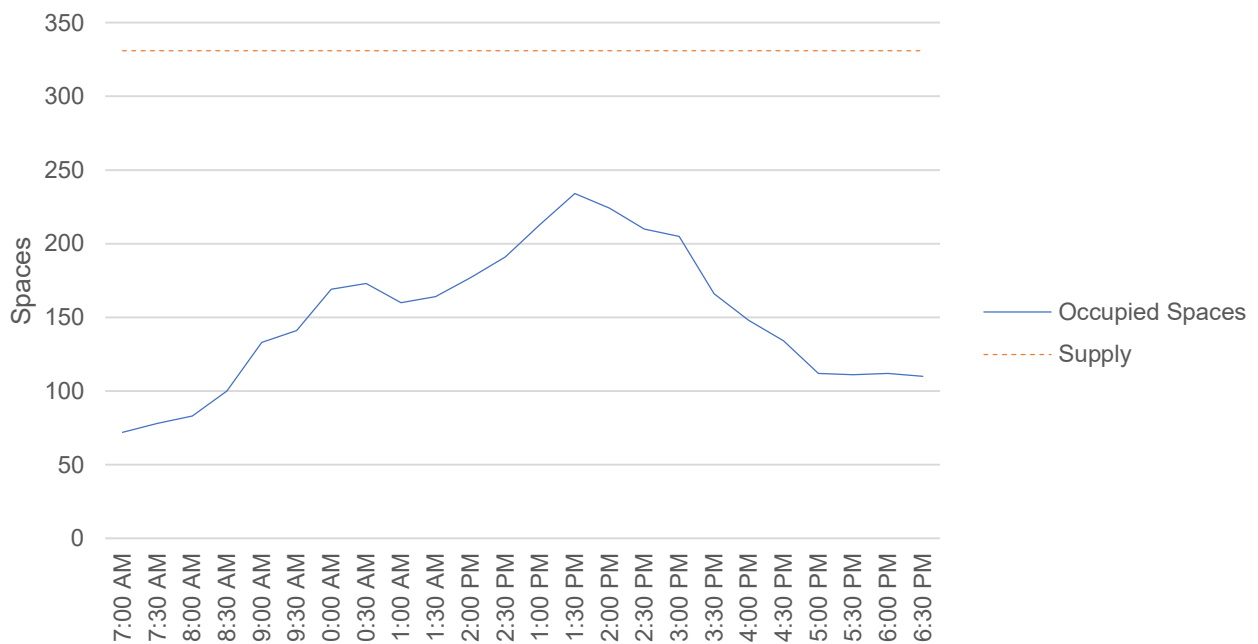
Street Section ID		Wednesday 21st April 2021		7:00 AM		7:30 AM		8:00 AM		8:30 AM		9:00 AM		9:30 AM		10:00 AM		10:30 AM		11:00 AM		11:30 AM		12:00 PM		12:30 PM		1:00 PM		1:30 PM		2:00 PM		2:30 PM		3:00 PM		3:30 PM		4:00 PM		4:30 PM		5:00 PM		5:30 PM		6:00 PM		6:30 PM		Average Spaces Occupied	Max Spaces Occupied
				Supply	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%	Occ	%							
1	Bells Blvd from Bells Blvd to Pass St	68	20	29%	22	32%	26	38%	31	46%	37	54%	42	62%	40	59%	43	63%	42	62%	40	59%	41	60%	41	60%	40	59%	37	54%	26	38%	25	37%	24	35%	23	34%	22	32%	25	37%	25	37%	19	28%	14	21%	12	18%	30	43	
2	Bells Blvd from Pass St to corner	47	3	6%	3	6%	3	6%	3	6%	3	6%	3	6%	3	6%	3	6%	3	6%	2	4%	3	6%	3	6%	4	9%	2	4%	3	6%	3	6%	4	9%	3	6%	4	9%	4	9%	4	9%	5	11%	3	6%	2	4%	3	5	
3	Bells Blvd along water front	44	1	2%	0	0%	2	5%	1	2%	0	0%	1	2%	4	9%	4	9%	4	9%	4	9%	3	7%	3	7%	3	7%	4	9%	7	16%	5	11%	5	11%	7	16%	8	18%	7	16%	6	14%	2	5%	4	9%	4	9%	4	8	
4	Bells Blvd Carpark north side	39	6	15%	12	31%	10	26%	13	33%	18	46%	22	56%	23	59%	18	46%	21	54%	20	51%	21	54%	20	51%	17	44%	17	44%	18	46%	13	33%	19	49%	17	44%	21	54%	17	44%	23	59%	21	54%	19	49%	23	59%	18	23	
5	Bells Blvd Carpark centre parking	40	10	25%	16	40%	19	48%	25	63%	22	55%	20	50%	19	48%	17	43%	19	48%	20	50%	19	48%	17	43%	17	43%	13	33%	17	43%	19	48%	18	45%	18	45%	20	50%	18	45%	22	55%	22	55%	28	70%	19	28			
6	Bells Blvd Carpark south side	36	8	22%	7	19%	11	31%	16	44%	16	44%	17	47%	15	42%	12	33%	16	44%	21	58%	17	47%	17	47%	15	42%	11	31%	12	33%	10	28%	9	25%	8	22%	6	17%	6	17%	11	31%	18	50%	18	50%	23	64%	13	23	
7	Bells Blvd roadside parking	20	2	10%	2	10%	5	25%	6	30%	6	30%	9	45%	9	45%	8	40%	8	40%	10	50%	12	60%	14	70%	15	75%	18	90%	16	80%	16	80%	11	55%	12	60%	14	70%	12	60%	14	70%	17	85%	19	95%	11	19			
8	Gunnamatta Ave carpark	37	3	8%	5	14%	7	19%	8	22%	12	32%	12	32%	14	38%	13	35%	13	35%	13	35%	13	35%	16	43%	16	43%	19	51%	19	51%	19	51%	17	46%	15	41%	16	43%	17	46%	12	32%	15	41%	12	32%	12	32%	13	19	
Grand Total		331	53	16%	67	20%	83	25%	103	31%	114	34%	126	38%	127	38%	118	36%	125	38%	131	40%	129	39%	131	40%	127	38%	121	37%	118	36%	110	33%	107	32%	103	31%	111	34%	106	32%	115	35%	116	35%	109	33%	123	37%	111	131	

Appendix C: Parking Occupancy Profiles

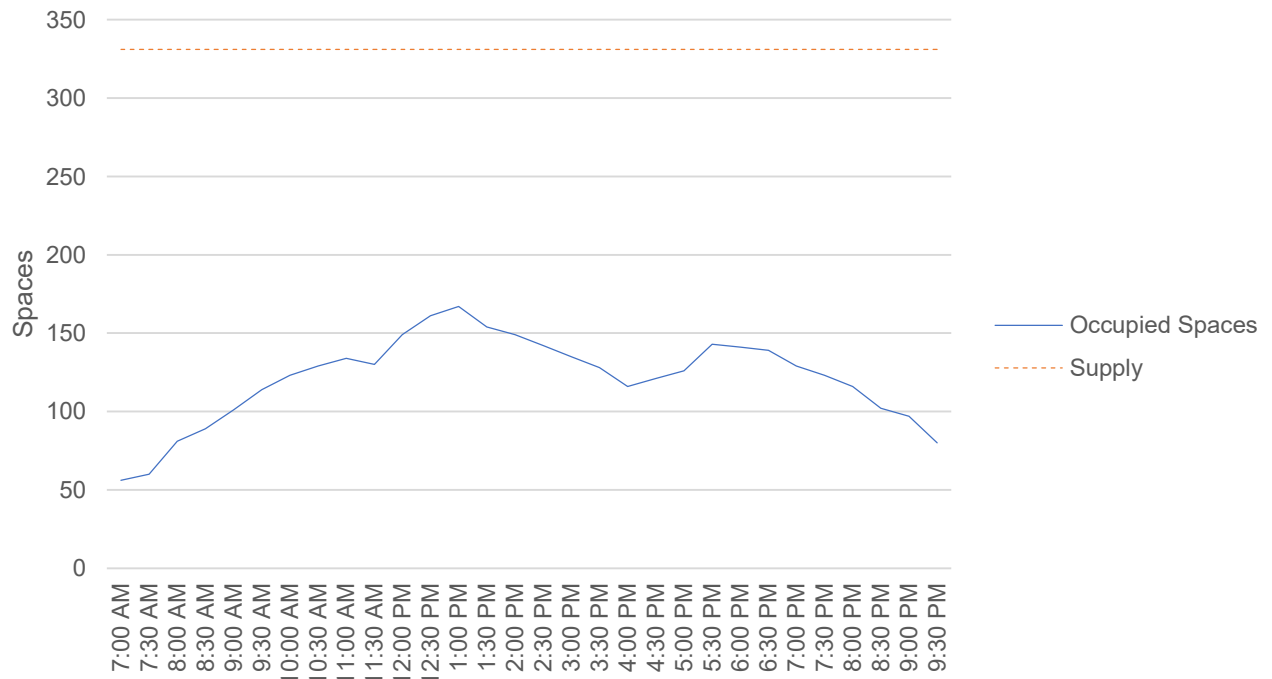
Saturday 27th March 2021 - All Areas



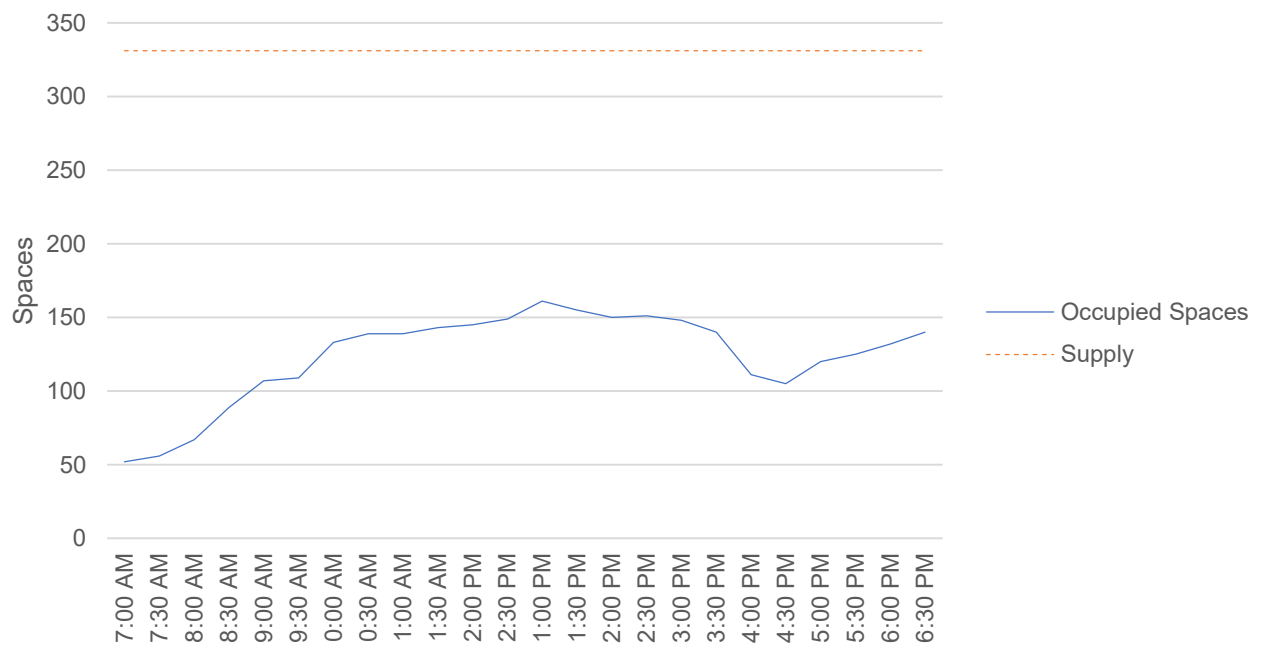
Sunday 28th March 2021 - All Areas



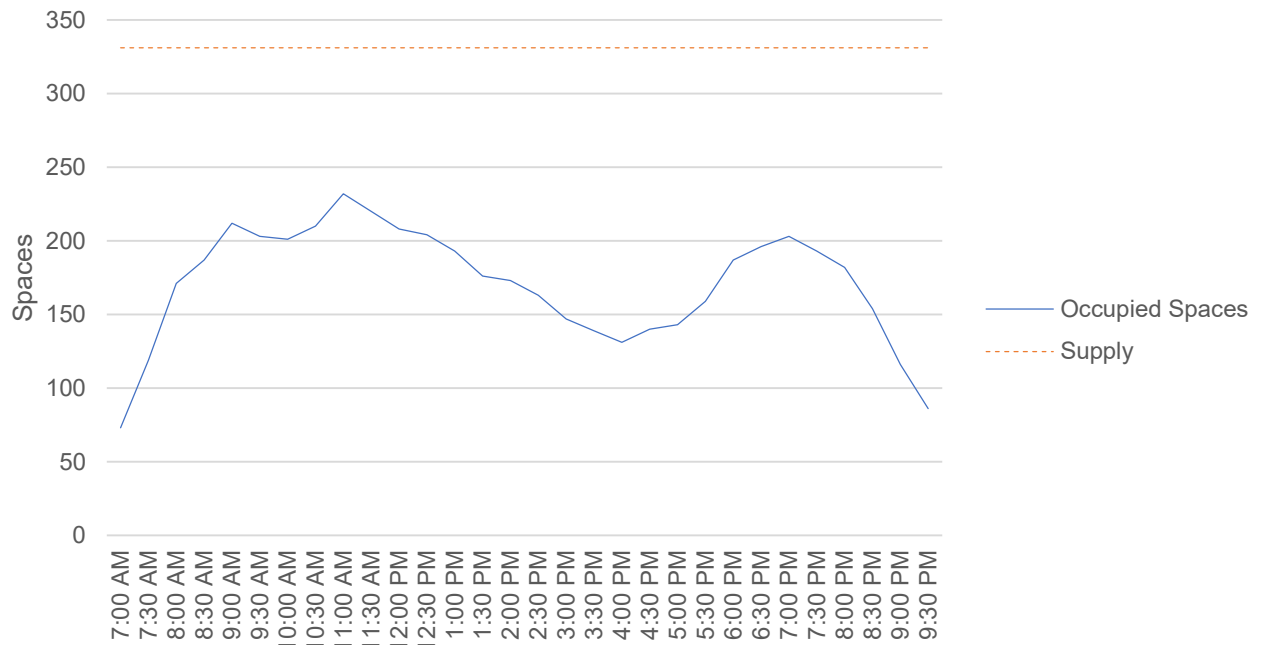
Saturday 3rd April 2021 - All Areas



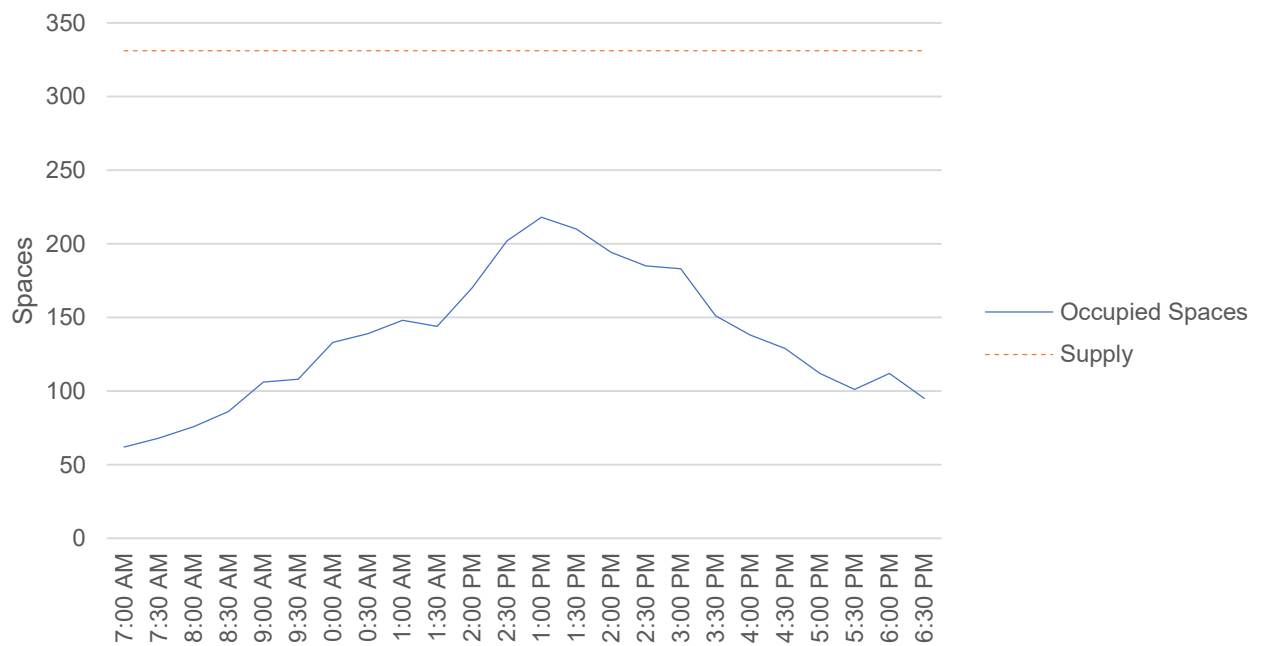
Wednesday 4th April 2021 - All Areas



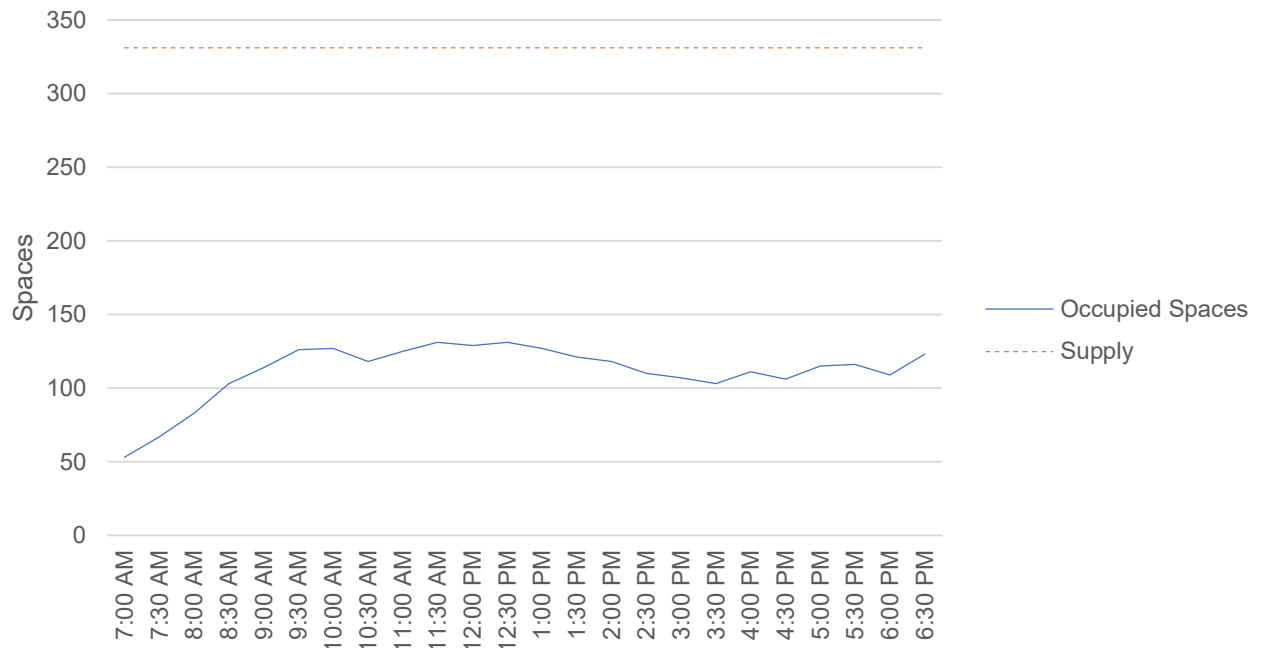
Saturday 17th April 2021 - All Areas



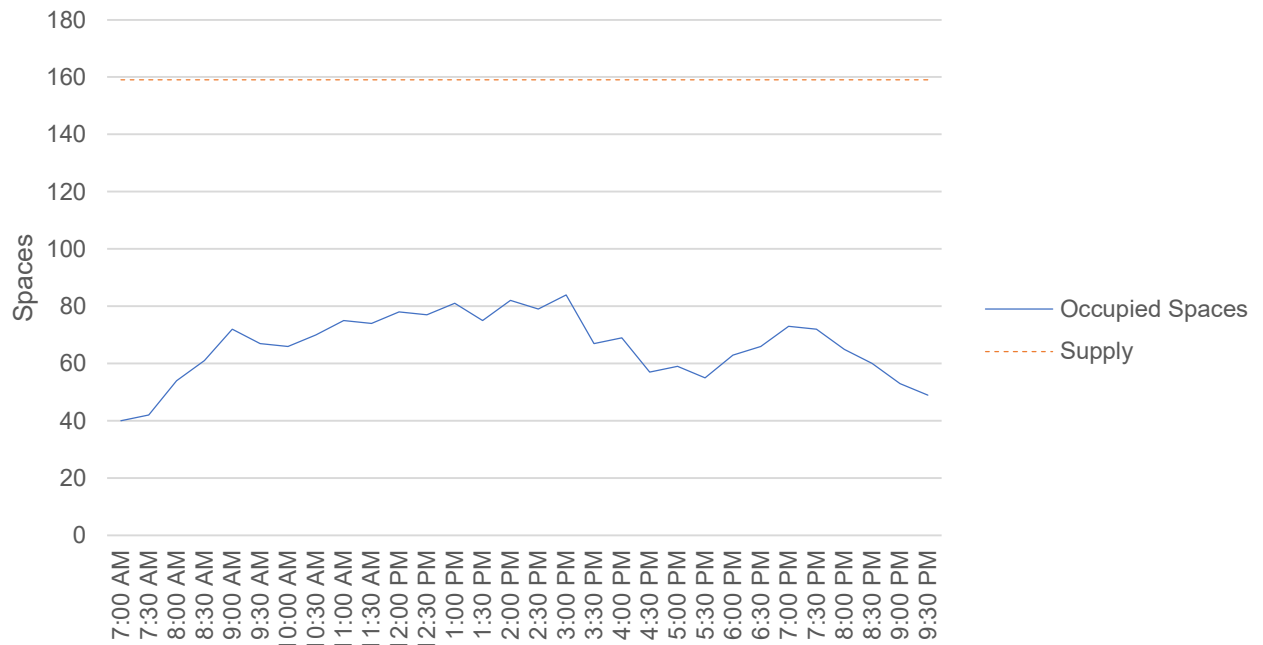
Sunday 18th April 2021 - All Areas



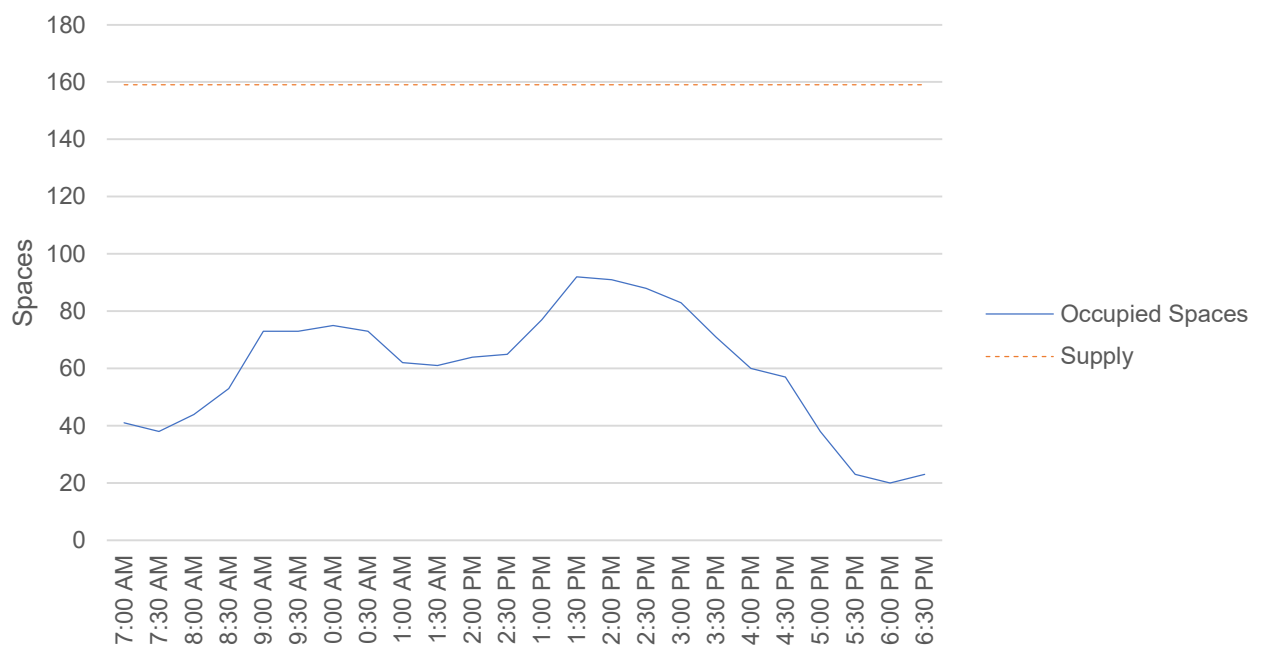
Wednesday 21st April 2021 - All Areas



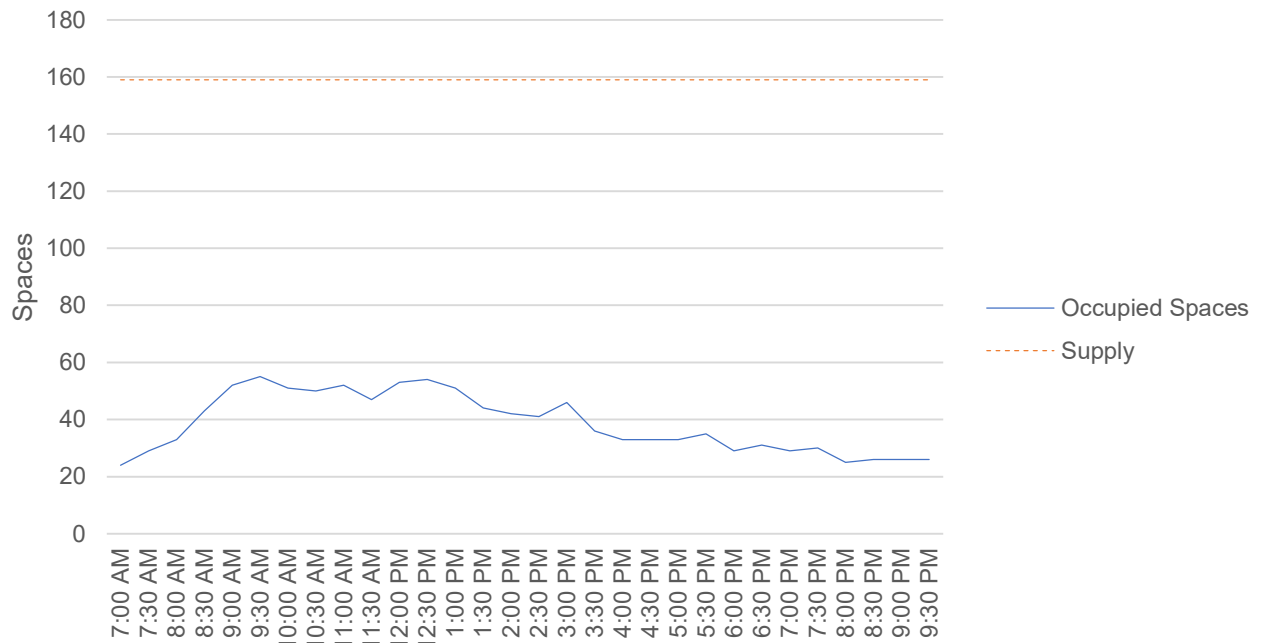
Saturday 27th March 2021 - Areas 1-3



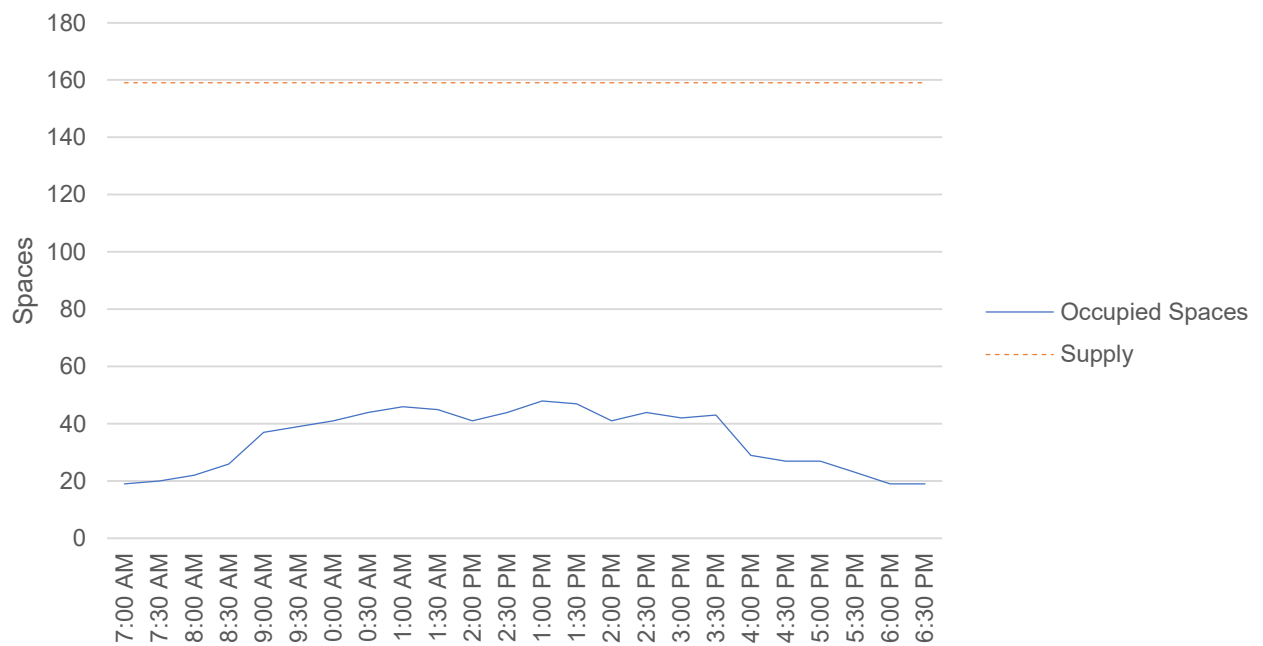
Sunday 28th March 2021 - Areas 1-3



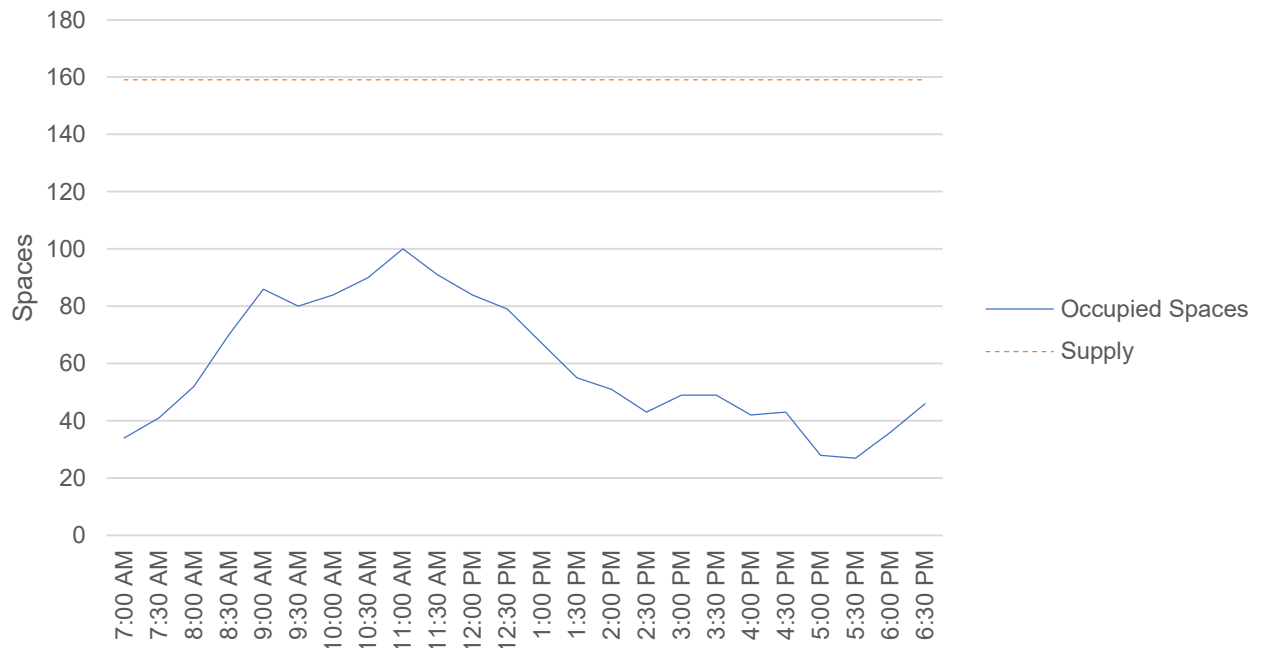
Saturday 3rd April 2021 - Areas 1-3



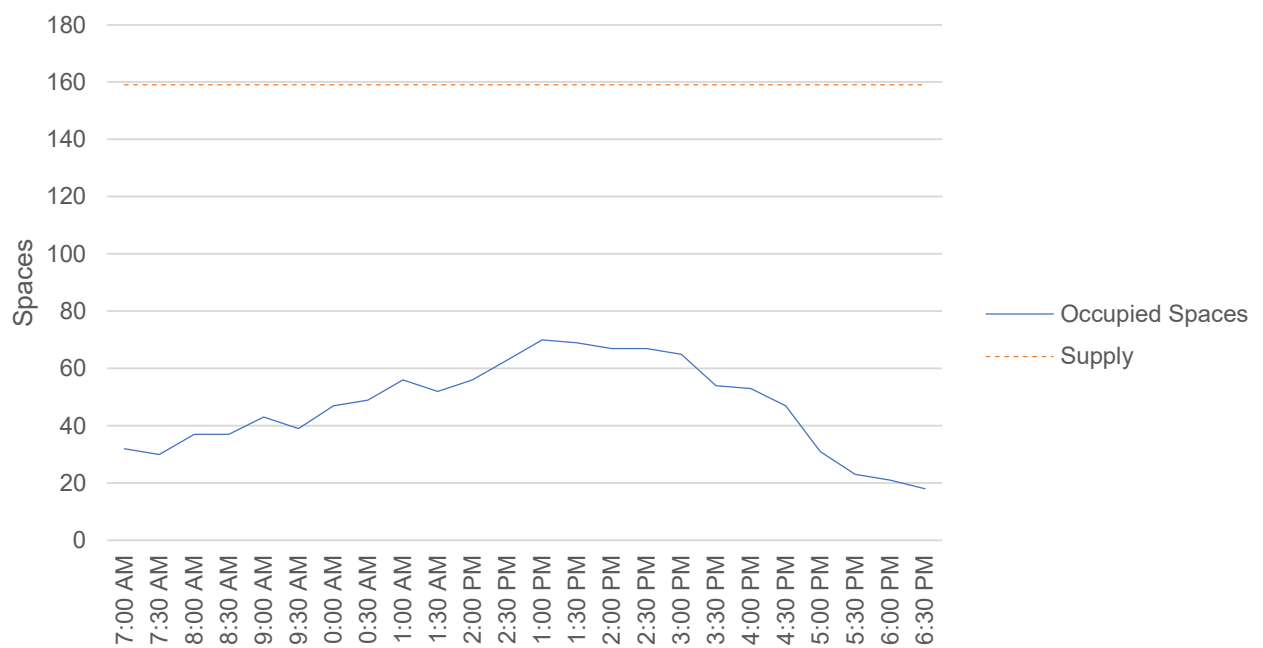
Wednesday 14th April 2021 - Areas 1-3



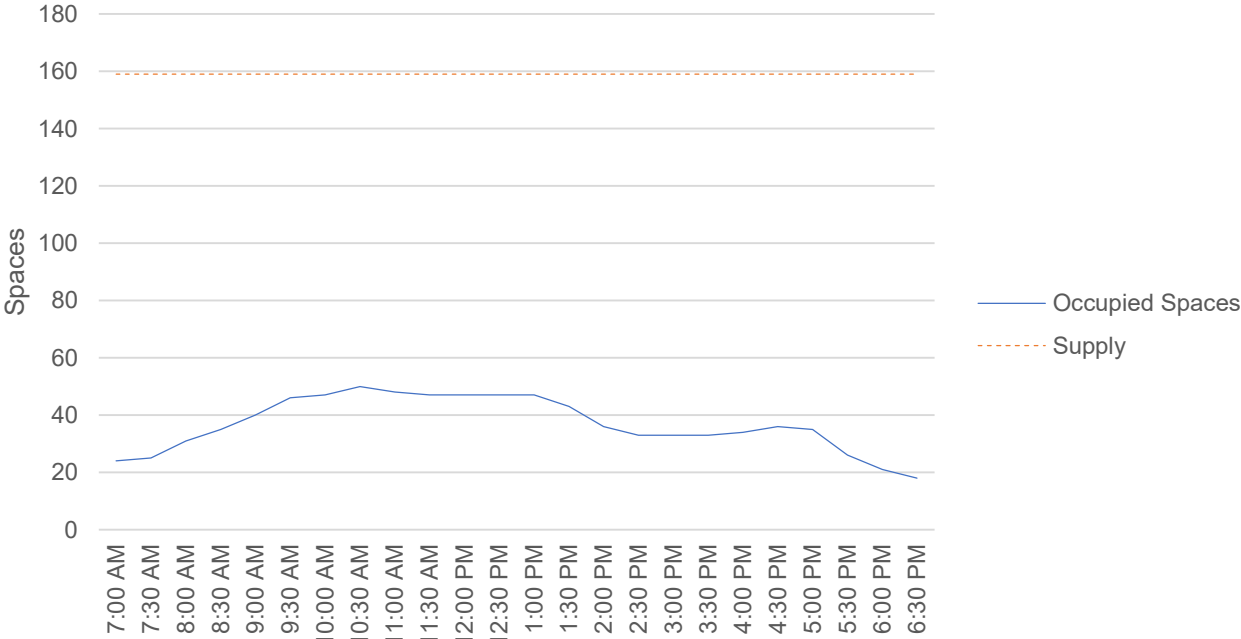
Saturday 17th April 2021 - Areas 1-3



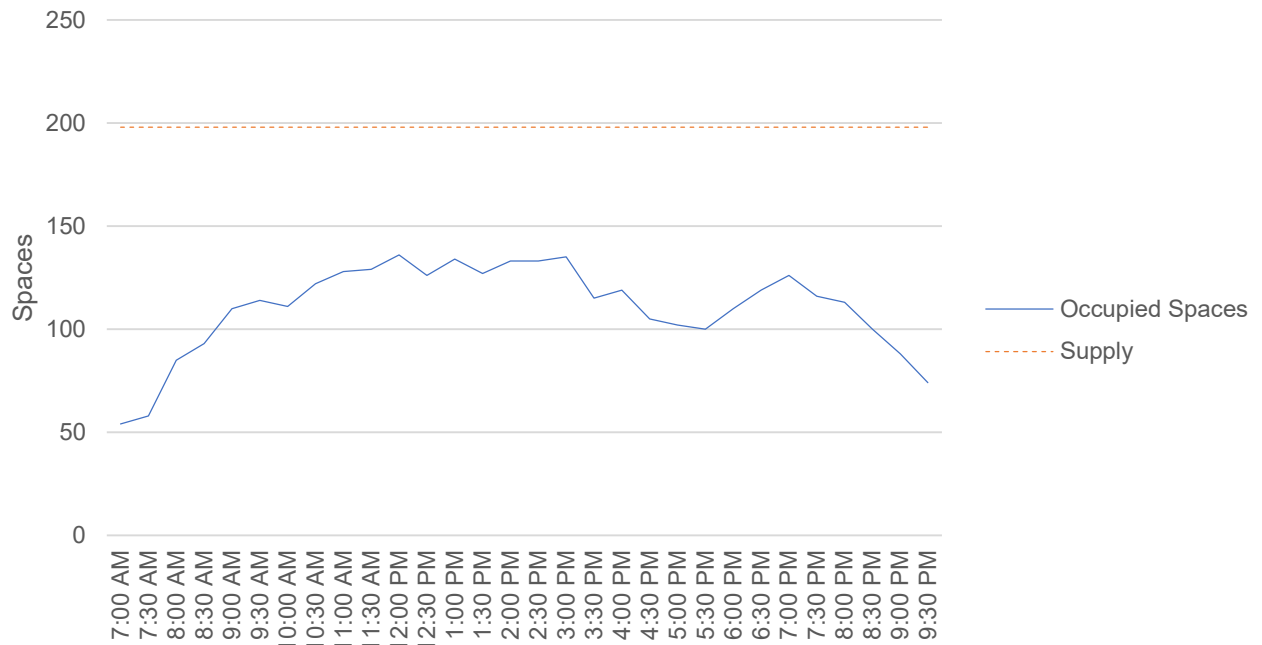
Sunday 18th April 2021 - Areas 1-3



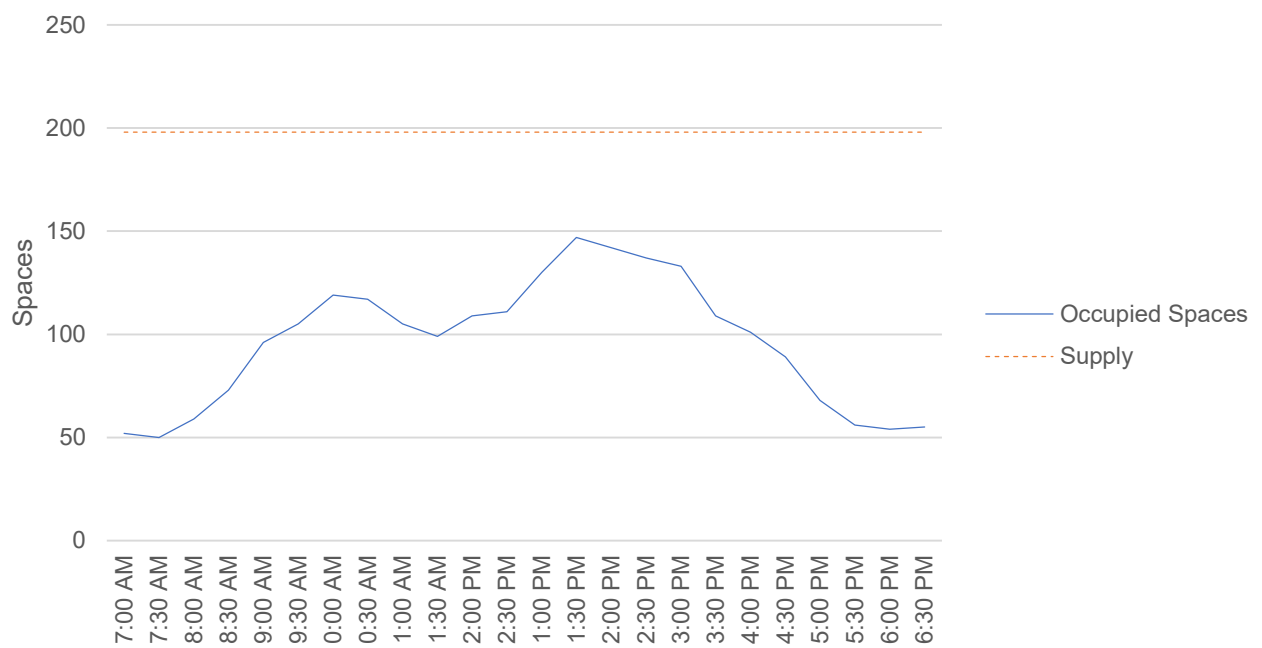
Wednesday 21st April 2021 - Areas 1-3



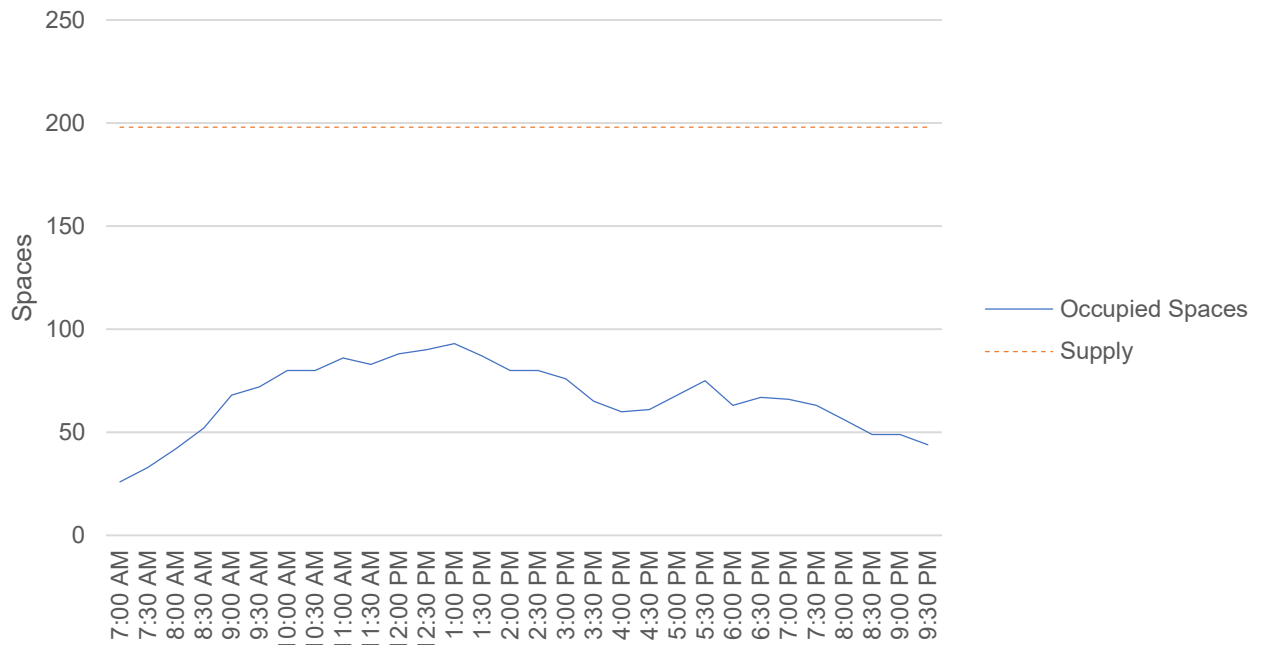
Saturday 27th March 2021 - Areas 1-4



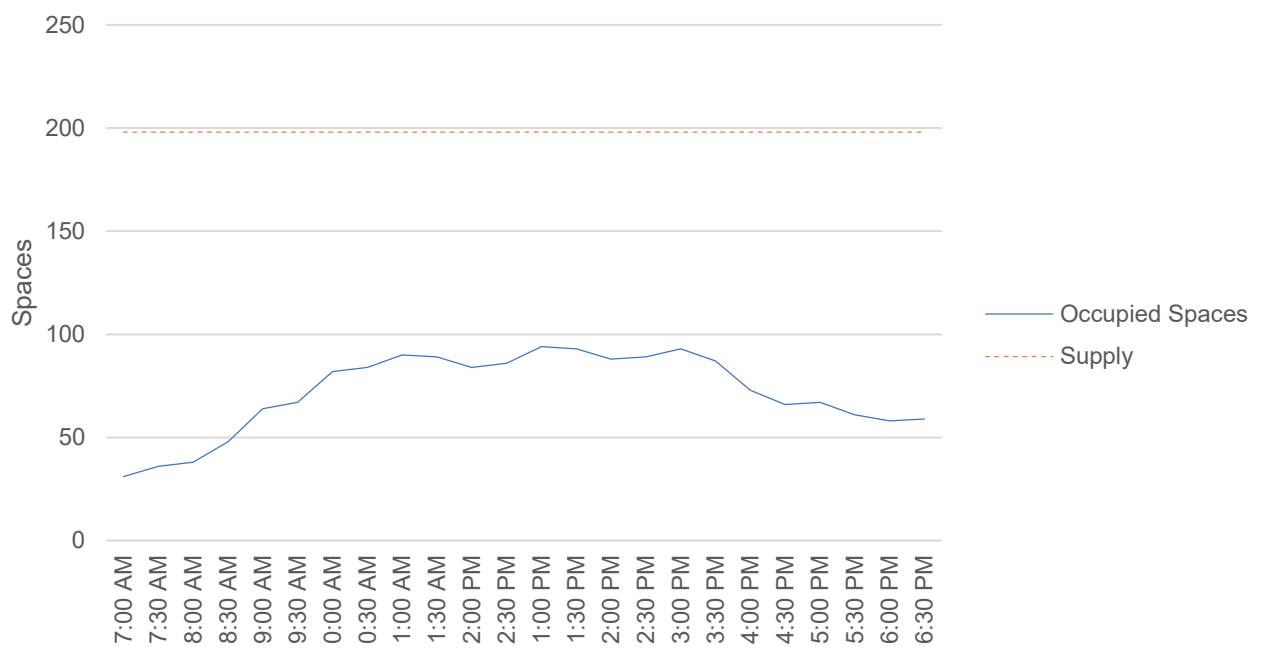
Sunday 28th March 2021 - Areas 1-4



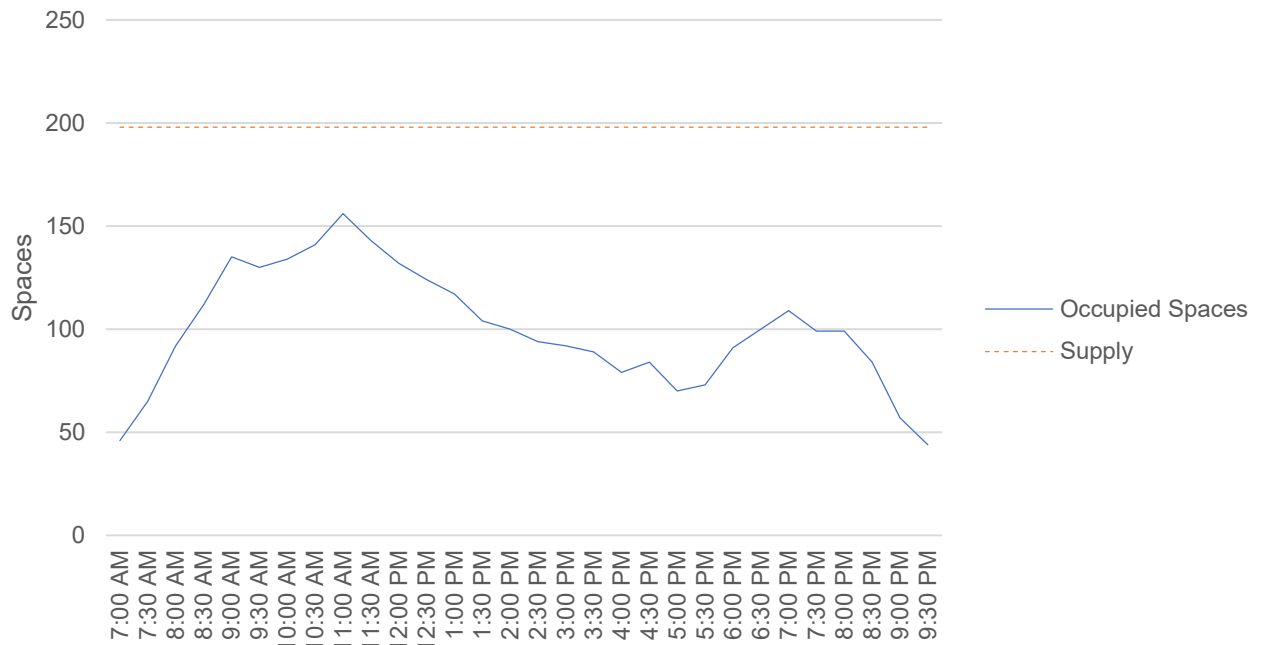
Saturday 3rd April 2021 - Areas 1-4



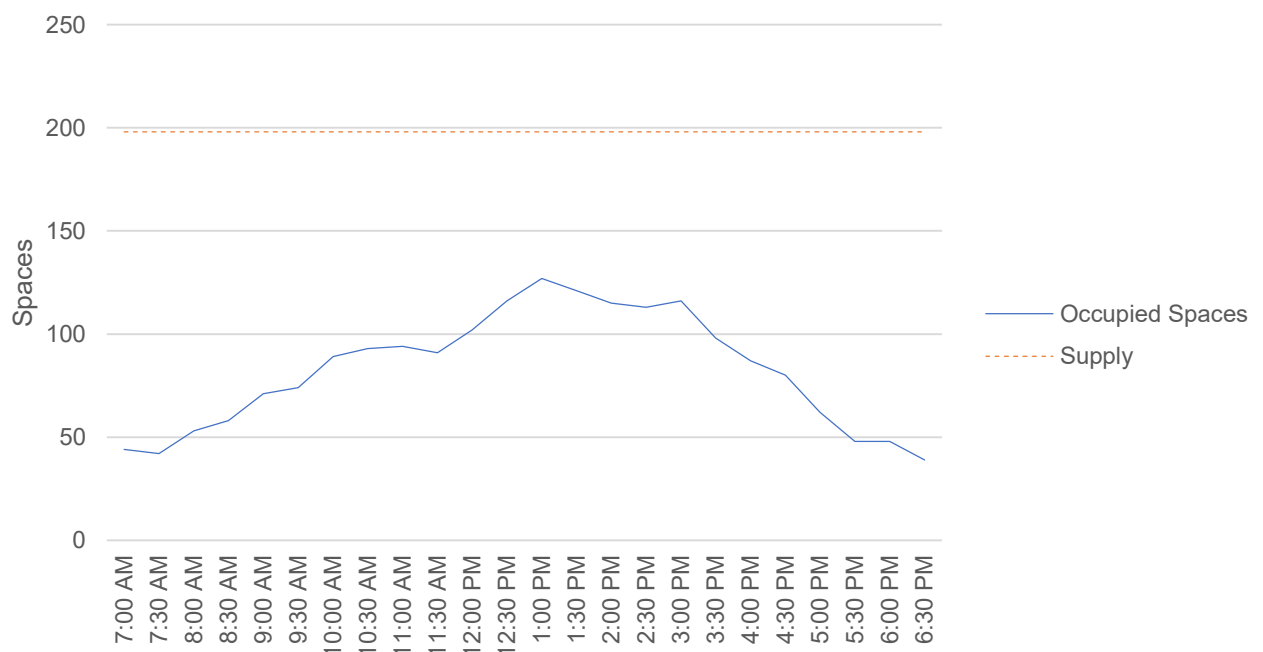
Wednesday 14th April 2021 - Areas 1-4



Saturday 17th April 2021 - Areas 1-4



Sunday 18th April 2021 - Areas 1-4



Wednesday 21st April 2021 - Areas 1-4

